
구역 재조정 프로그램(CHIP) 조례 시 전체에 제안된 규정 개정안

도시 계획 위원회(CPC) 프레젠테이션

CPC-2023-7068-CA, CPC-2024-387-CA, CPC-2024-388-CA

ENV-2020-6762-EIR, ENV-2020-6762-EIR-ADD1, and ENV-2020-6762-EIR-ADD2

Item No. 7

9월 26일 목요일에 발표할 주요 프레젠테이션은 한국어로
제공됩니다. 기술적 질문에 답변하는 데 사용할 슬라이드는
영어로 제공됩니다.

시 전역의 주택 인센티브 프로그램 호 조례

시 전체에 제안된 규정 개정안
CPC 미팅 프레젠테이션

CPC-2023-7068-CA, CPC-2024-387-CA, CPC-2024-388-CA

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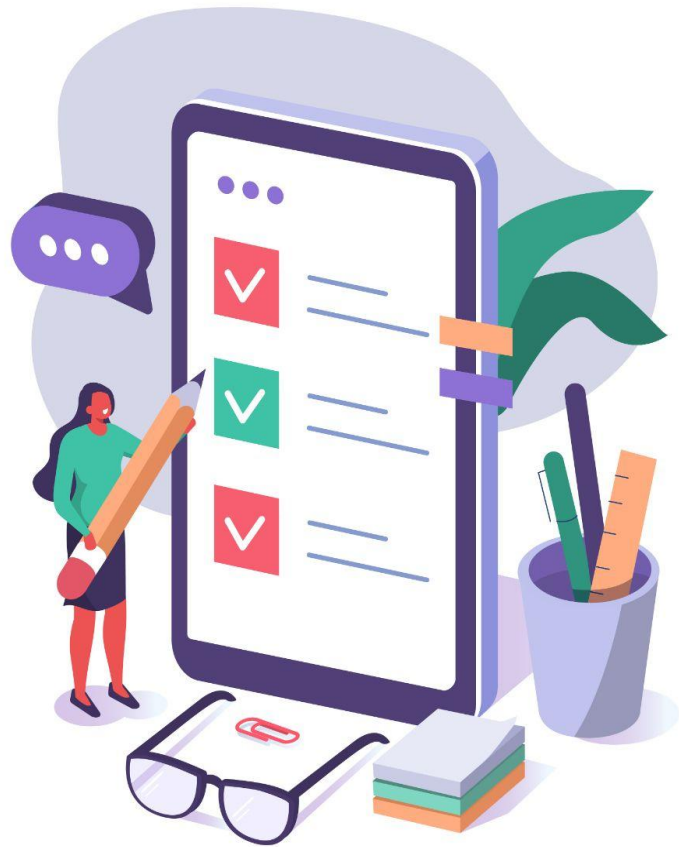
아젠다

소개

- 주택 요소 재조정 프로그램 배경
- 홍보 및 피드백

시 전역 주택 인센티브 프로그램 조례안

- 개요
- 프로그램 및 개정 사항 요약
- 공청회 이후 수정 조항
- 추천사항



보고서 개요

보고서 포함:

- 프로젝트 분석
- 결과
- 공청회 및 소통
- 자료 및 부록

자료:

- 자료 A - 조례
- 자료 B - 공정 주택 요건 및 저렴한 주택 인센티브 가이드라인
- 자료 C - 환경 고려 사항
- 자료 D - 단독주택 고려 사항
- 자료 E - 저소득층 재구역 주택 부지

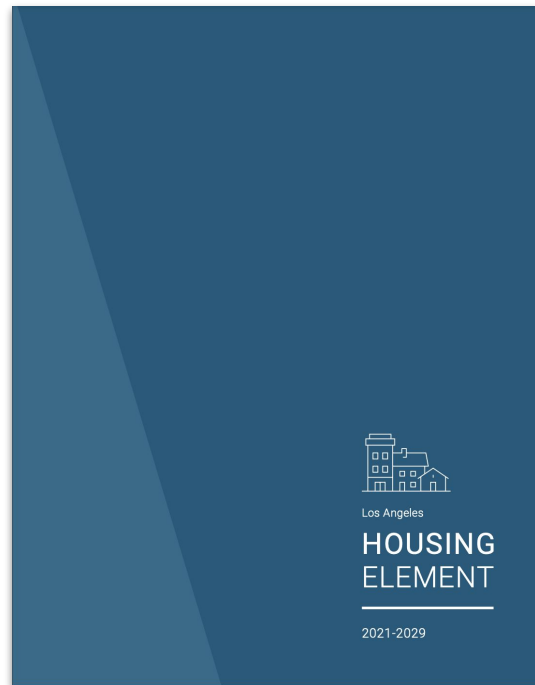
부록:

- 조례 개정
- 단계별 아웃리치 요약 듣기 및 공유
- 경제 분석 및 시장 조사
- 시 전역 주택 인센티브 프로그램 절차 표
- 재구역 가정 모델

주택 요소 재구역화 프로그램 배경

2021-2029 주택 요소 필수 요구 사항

- 주택 요소는 **공정 주택 프로그램**을 강화하기 위해 2021년에 채택되었고 **2022년에 개정되었습니다.**
- 가장 최근 업데이트에서는 **2021년부터 2029년까지** 8년간의 **공식 주택 목표, 정책, 목표 및 프로그램**을 수립했습니다.
- 시의 주택 수요와 목표를 해결하기 위해 확인된 **구역 재조정**이 필요합니다. 구역 재지정을 위한 프레임워크 초안을 만들었습니다.
- **2025년 2월**까지 시의 최소 구역 재조정 필요량은 **255,433 세대**입니다.
- 이 의무를 이행하지 않으면 중대한 결과를 초래할 수 있습니다.



주택 필요성

시 주택 의무는 **2025년 2월까지** 충족되어야 합니다.



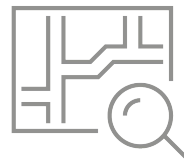
지역 주택 수요
평가 목표

486,379 units



예상
개발

230,947 units



최소
필요한 신규 주택 용량

255,432 units

규정 위반에 따른 결과

주법에 따라 주정부에서 규정(HCD)을 준수하지 않으면 다음과 같은 불이익을 받을 수 있습니다:

- 로컬 조닝 제어 손실 (빌더스 리메디),
- 위험에 처한 상당한 자금 (PLHA, AHSC, IIG, TCC, Planning Grants, etc.) - \$890M,
- 법원 부과 벌금(월 최대 60만 달러) 및 구역 설정에 영향을 미칠 수 있고 준수를 요구하는 기타 법원 조치.
- 주택 손실 없는 요건



로스앤젤레스(실마)
의 빌더 레미디
프로젝트



구역 재지정 (Rezoning) 프로그램 고려 사항

구역 재조정 전략의 핵심 요소는 다음과 같습니다:

- 주택 요소 업데이트 프로세스를 통해 개발된 도시 전체 주택 우선순위
- 대중 및 의사결정권자의 의견
- 주 주택 리조닝법 프로그램 요건에는 다음이 포함됩니다:
 - 공정 주택 증진(AFFH) 목표
 - 저소득 지역 요구 사항



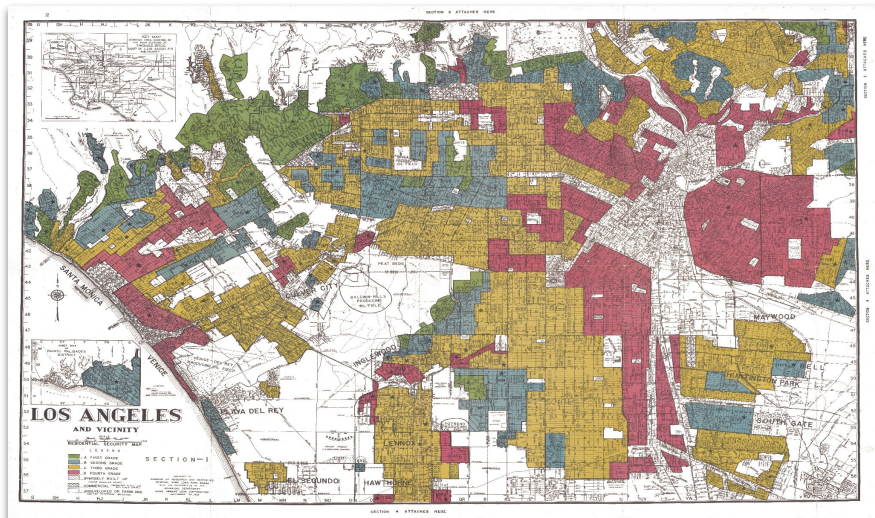
플로렌스 밀스 아파트
3501-3509 사우스 센트럴 애비뉴.

이미지: 2022 상업용 부동산 어워드: 저렴한 주택, 로스 앤젤레스 비즈니스 저널

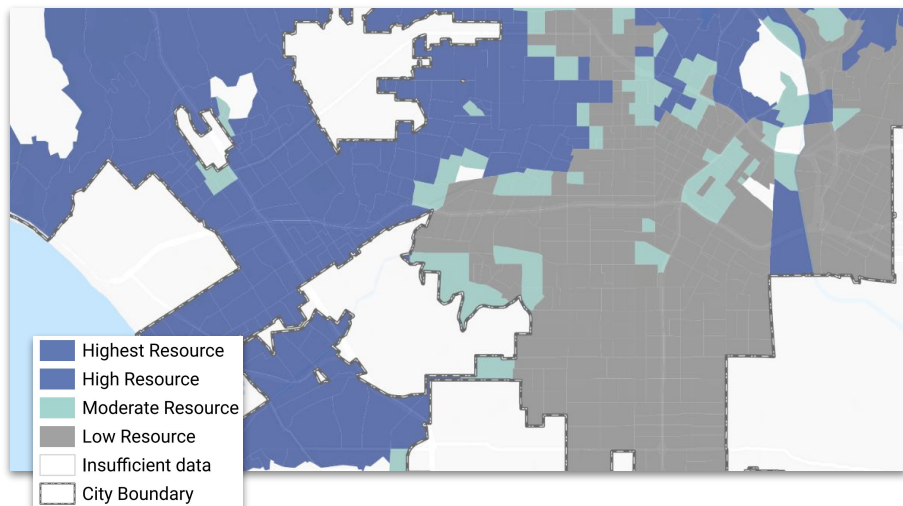
공정 주거 증진(AFFH)

AFFH는 다음과 같이 정의됩니다:

“차별에 맞서 싸우는 것 외에도 차별의 패턴을 극복하고 기회 제공을 차단하는 장벽이 없는 포용적인 커뮤니티를 조성하는 의미 있는 조치를 취하는 것...”



1939년 로스앤젤레스카운티 중부 레드라인 지도

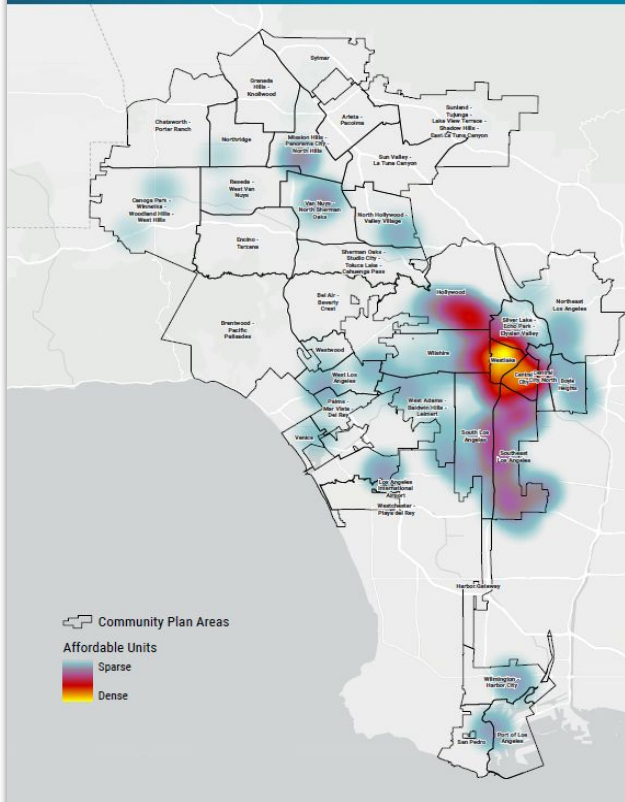


TCAC/HCD 기회 지도

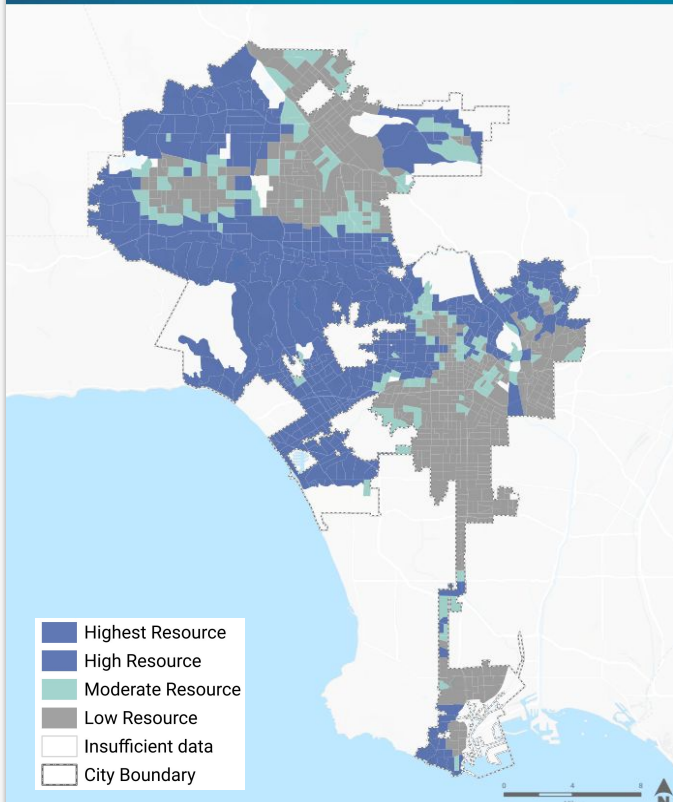
공정적으로 더 나아가기 공정 주택 (AFFH)

- 저렴한 주택은 시 전체에 걸쳐 **공평하게 공급되지** 않았습니다.
- 구역 재조정 프로그램은 기회가 많은 지역에서 저렴한 주택에 대한 접근성을 확대해야 합니다.

2009-2023 Affordable Housing Units
by Community Plan Area



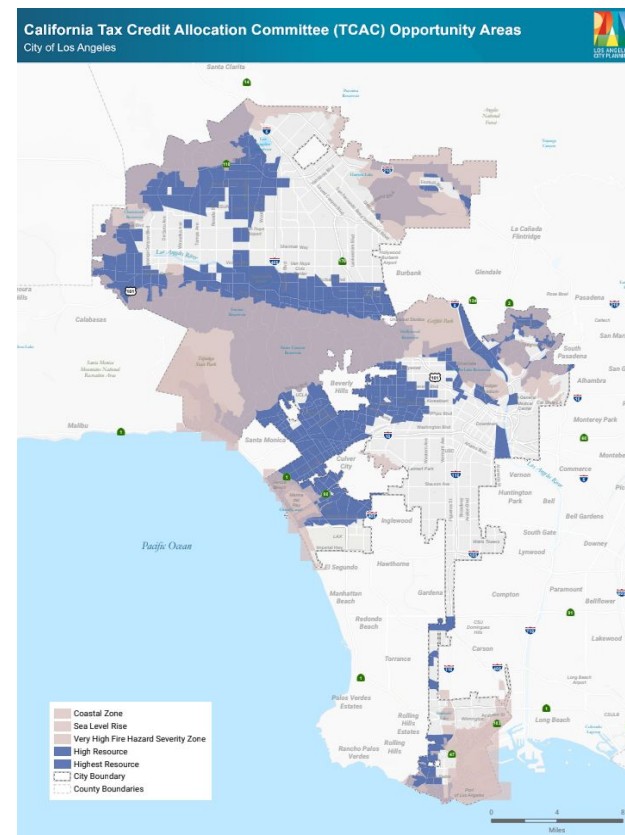
2024 California Tax Credit Allocation Committee
(TCAC) Opportunity Areas



형평성 및 기후 중심 접근 방식

주택 요소 재조정 프로그램은 다음과 같은 방법으로 주택과 기회에 대한 접근성을 확대하는 것을 목표로 합니다:

- 기회가 많은 지역과 대중교통 및 일자리 근처에 새로운 역량을 집중합니다.
- 주택 생산 간소화
- 더 많은/더 저렴한 경제성
- 임차인 보호 강화 및 RSO 유닛의 '순손실 없음' 보장
- 환경적으로 민감한 지역, 역사적 자산, 디자인/편의시설 보호



주택 요소 구역 재조정 프로그램

활발한 커뮤니티 및
이웃 계획 노력

시 전역 주택
인센티브 프로그램
(CHIP)

기타 관련
이니셔티브:
적응형 재사용
조경 및 사이트 디자인

홍보 및 피드백

조례 채택 일정

구역 재조정 프로그램은 2025년 2월 이전에 채택되어 발효되어야 합니다.



**2022년 겨울 - 2023년 가을
듣기**

분석
초안 준비
권장 사항



**2024년 겨울
공유/게시**

조례 초안 공개(3월)
대중 홍보 활동 수행
환경 검토 수행
대중의 피드백을
통합하기 위한 조례 초안
수정



**2024년 봄 - 여름
수정/게시**

조례 개정안 공개
공청회



**2024년 여름 - 가을
채택**

도시 계획 위원회
청문회와 시의회
공청회로 채택
절차를 시작

리조닝 프로그램 홍보

- 영어, 스페인어, 한국어로 진행되는 **6개의 라이브 웨비나**에 **900명**이 참석했습니다.
- **600명이 참석한** 직원급 공청회
- 이메일을 통해 **3,100건** 이상의 **공개 의견** 접수
- **57개의 이벤트와 미팅에 3,000명이 넘는 사람들이 참여했습니다.** 여기에는 다음이 포함됩니다:
 - 커뮤니티 기반 조직과의 파트너십
 - 지역 협의회 연합 회의
 - 커뮤니티 이벤트
- **최초의 디지털 홍보 캠페인**이 포함되었습니다:
 - 40만 회 이상의 조회수를 기록하고 20만 명 이상의 이해 관계자를 참여시킨 LA in a Minute의 타겟팅 소셜 미디어 캠페인
 - 1백만 명 이상의 이해관계자에게 도달한 구글 광고 및 디지털 참여, 그 중 54%는 34세 미만입니다.



상단,
에스페란
자에서의
참여형
액티비티
/ PSR LA
(4/2024)



하단: 시
직원과
로스앤젤
레스
인도적
이민자
권리연합
(CHIRLA)
(04/2024)

공유 단계에서 들은 내용입니다:

- 기회가 많은 지역의 **저렴한 주택에 인센티브 제공**
- 공정 주택 목표를 확실하게 **달성하는** 계획의 중요성 강조
- 자산 구축 기회 창출
- 기회의 거리 전환 인센티브 지역 확대
- **단독 주택 지역**의 개발 지원
- **단독 주택 신앙** 기반 부지 취득에 대한 **가드레일** 강화
- 경제성 설정 옵션에 급격히 낮은 소득 및 중간 소득 카테고리를 추가
- 더 많은 다인실 유닛
- 프로젝트 간소화 절차 개선
- RSO 교체 요건 및 세입자 보호 강화
- 환경 정의에 대한 고려 사항 확대
- 프로그램에서 더 큰 개발 인센티브 및 혜택 제공

시 전역 주택 인센티브 프로그램(CHIP) 조례

조례 구성

시 전역 주택 인센티브 프로그램 조례

밀도 보너스 프로그램

저렴한 주택 인센티브
프로그램

혼합 소득 인센티브
프로그램

주정부 프로그램

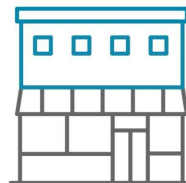
시 프로그램

CHIP 프로그램 프레임워크

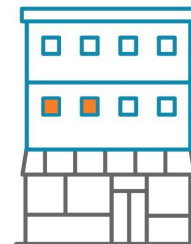
저렴한 주택에 밀도 보너스 제공

저렴한 유닛의 비율이 높은 프로젝트에 더 큰 보너스를 부여

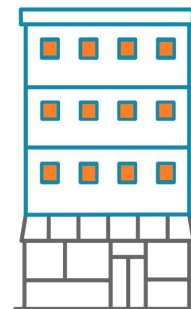
공공의 이익을 제공하는 프로젝트에 추가 건물 물량 제공



기본
조닝 규정

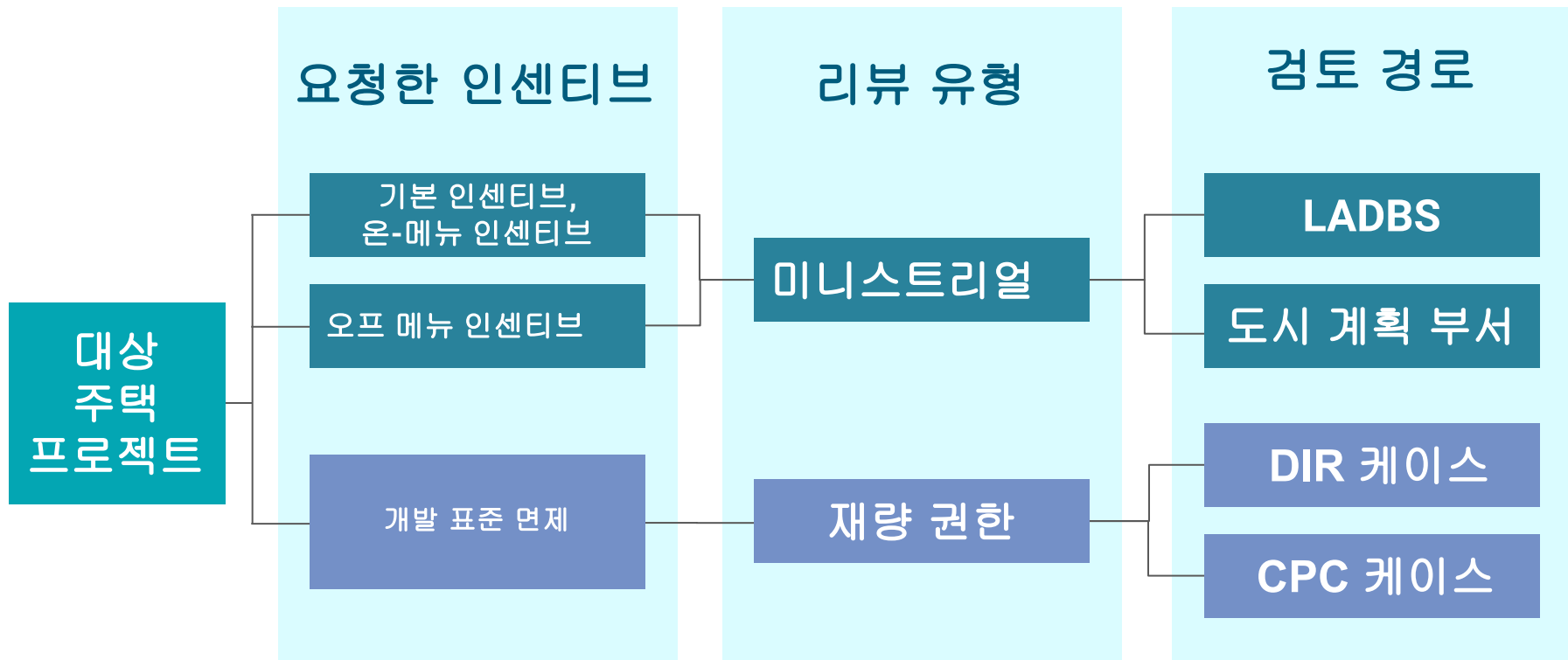


혼합 소득
저렴한 주택
보너스



100%
저렴한 주택
보너스

절차



참고: 이 차트는 간소화된 프로젝트 검토 절차를 나타냅니다.

프로젝트 면제 사항

저렴한 주택 연계 수수료 면제

LAMC 19.18에 따른 저렴한 주택 연계 수수료는 프로젝트가 다음 수준(보통 40%, 저소득 20%, 매우 저소득 11%, 극저소득 8%)의 현장 제한형 저렴한 주택을 제공하지 않는 한 수수료를 지불하도록 규정하고 있습니다.

개정된 조례는 혼합 소득 인센티브 프로그램을 활용하는 프로젝트에 대한 수수료 면제를 추가하여 저렴한 주택 연계 수수료를 개정합니다.

프로젝트 리뷰(현장 계획 검토) 면제

LAMC 16.05에 따른 프로젝트 리뷰는 50개 이상의 시세 유닛이 있는 다가구 프로젝트에 필요한 재량 승인입니다.

수정된 조례는 프로젝트가 연계 수수료를 면제받는데 필요한 경제성 요건에 부합하는 제한적 저렴한 주택을 제공하는 프로젝트에 대한 면제 조항을 추가하여 코드의 프로젝트 리뷰 섹션을 수정합니다(LAMC 섹션 19.18.B.2(b)).

프로그램 및 개정 사항 요약

주 밀도 보너스 프로그램



시의 밀도 보너스 프로그램에 대한 종합적인 업데이트

- 주 밀도 보너스 법을 대폭 수정한 주 법률을 반영합니다



주요 수정 사항

- 더욱 예측 가능하고 간소화된 프로젝트 검토를 위해 업데이트된 절차
- 대상 인구를 위한 주택에 대한 새로운 인센티브 및 주차 요건 완화
- AB 1287(2023)에 따라 최대 100%의 추가 밀도 보너스를 허용하는 조항 통합

저렴한 주택 인센티브 프로그램 (AHIP)



100% 저렴한 주택 프로젝트

도시 전역, 높음 및 보통 기회 지역, 차량 주행 거리가 낮은 지역의 다가구 주거 용도를 허용하는 부지에 적용됩니다.



신앙 기반 조직(FBO) 프로젝트

FBO 소유 토지에 80~100% 저렴한 주택 개발 인센티브 제공



공공 토지 프로젝트

“P” 주차 구역, 'PF' 공공시설 구역 및 공공기관 소유 부지에 100% 저렴한 주택에 대한 인센티브 제공



공유 지분 프로젝트

커뮤니티 토지 신탁(Community Land Trusts) 또는유한 지분 주택 협동조합 (Limited Equity Housing Cooperatives)가 소유한 토지에 대한 80-100% 저렴한 주택 개발을 장려합니다.

주법 및 구입 가능 주택 공급 인센티브 프로그램(AHIP) (AB 1763/2334)

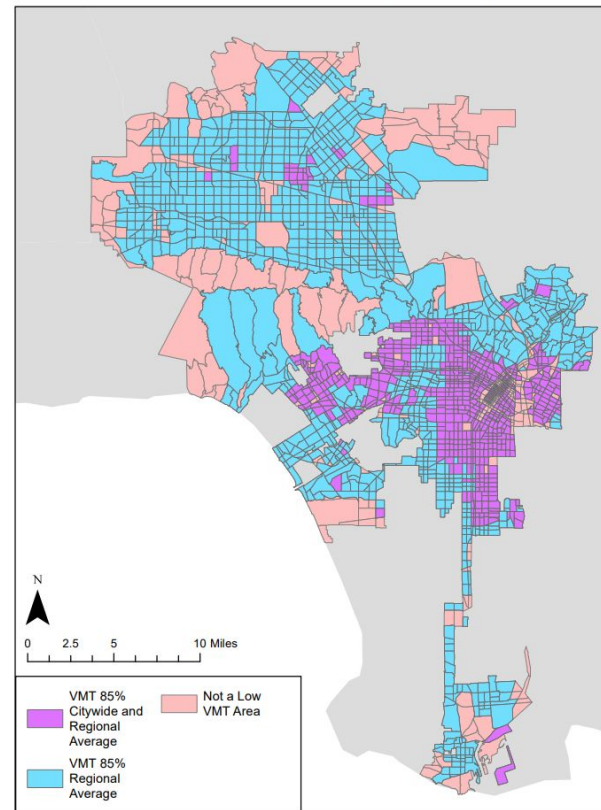
주법에 따른 인센티브:

- 주요 대중교통 정류장(MTS) 또는 낮은 차량 이동 마일(VMT) 지역의 ½ 마일 이내, 밀도 제한 없음 및 33피트 또는 3층 건물 높이 증가

AHIP:

- AHIP는 주 밀도 보너스법(State Density Bonus Law)의 조항과 일치하거나 초과하도록 설계되었습니다.
- 긍정적으로 공정한 주택을 제공하기 위해 중간 및 더 높은 기회 지역의 프로젝트에 대한 인센티브를 강화합니다.

DRAFT Low VMT Areas (AB 2334)



혼합 소득 인센티브 프로그램



기회 코리더 인센티브 구역

기회도가 높은 지역의 대중교통 인근 주요 도로에 주택 프로젝트를 늘리기 위한 인센티브 제공



기회 통로 전환 인센티브 영역

기회도가 높은 지역의 주요 통로에 인접한 저규모 주택 유형을 건설하는 주택 프로젝트에 대한 인센티브 제공

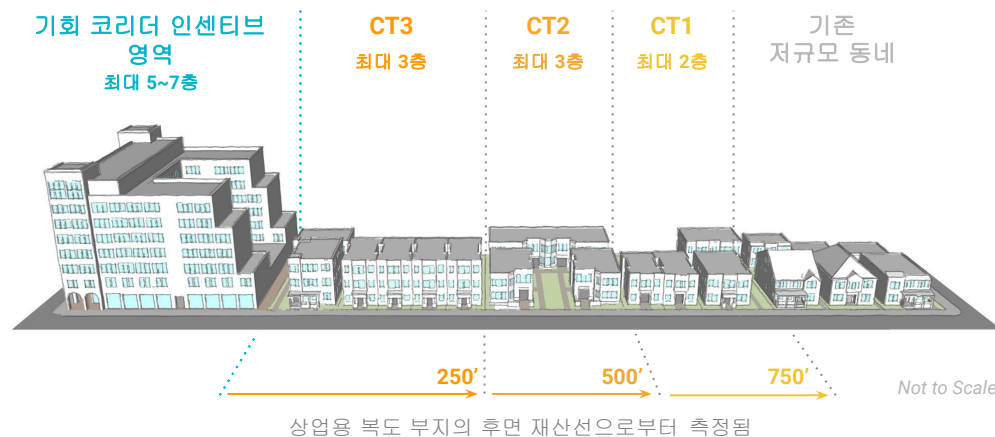


대중교통 중심 인센티브 지역

도시 전역의 대중교통 인근 신규 주택에 대한 인센티브

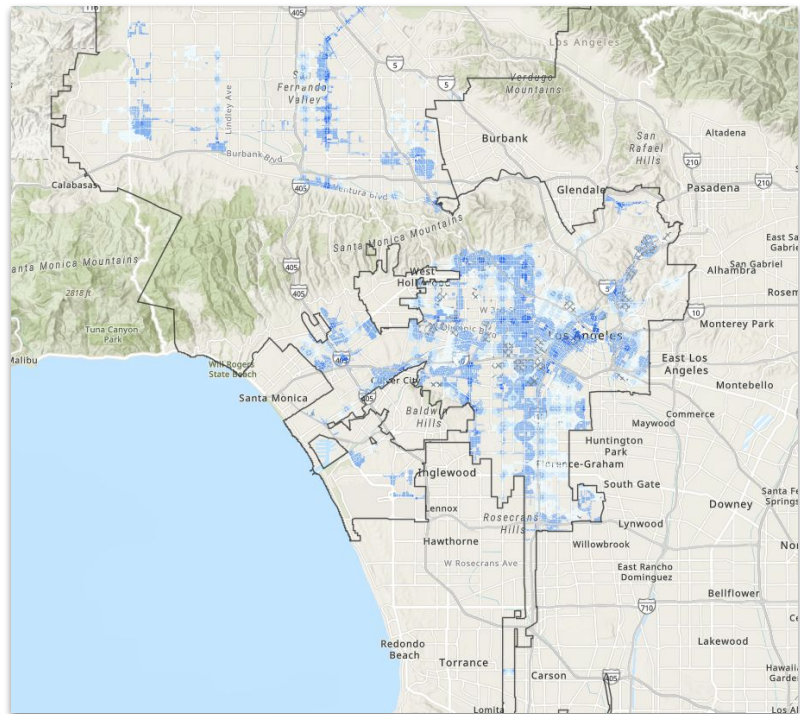
기회 통로 및 전환 영역

- 기회 코리더 프로그램은 기회가 높은 지역의 대중교통 서비스 코리더에 대한 인센티브를 확대합니다.
- 최저한의 5~7층 구조에 대한 양식 기반 인센티브를 생성합니다.
- 기회 코리더에서 낮은 규모의 주거 지역으로 트랜지션을 하는 경우 코리더 전환 인센티브는 밀도가 제한된 중간 형태가 누락되는 것을 방지합니다.



대중교통 중심 인센티브 지역(TOIA)

- 시의 **TOC 프로그램** 업데이트 및 연장 (2026년 만료 예정)
- 새로운 주 법안(AB 1287)에 따른 경쟁력 유지를 위한 더 큰 밀도 보너스 제공
- 더 높은 기회 지역에서 더 관대한 밀도 및 **FAR 인센티브** 제공
- 높은 가격대의 시장 영역에서 더 높은 경제성



공청회 이후 개정

시 전역 구입 가능 주택 공급 인센티브 프로그램(CHIP) 조례의 총체적 개정

- 새로운 환경 보호 조치 핸드북
- 활성 유정 1,000피트 이내의 현장 환경 평가(ESA) 요구 사항 개정
- 새로운 역사적 외관 보존 도구
- 개정된 다세대 침실 공공 혜택 옵션
- 클래스 3 CUP 의사 결정 개정
- 개정된 지상 주차 요건
- 프로그램별 FAR 및 건물 높이 인센티브 개정

Technical Modifications Item 7:

Modifications to the Ordinance

- Revisions to add **new definition for a “Non-Contributor”**.
- Technical clarifications to **clarify eligibility for Public Benefit Options** in LAMC 12.22 A.37 and LAMC 12.22 A.39.
- **Revision to procedures in LAMC 12.22 A.39** to clarify that “up to one” waiver may be processed ministerially.
- **Revisions to clarify affordability requirements in LAMC 12.22 A.39** for Faith Based Organization Projects and Shared Equity Projects.

Modifications to the Staff Report

- Clarifications **to tables and text to be consistent with the Ordinance**.
- **Maps inserted** into the report for clarity.
- **Appendix 3 amended** to include Feasibility Study erroneously not attached.
- **Revisions to clarify** recommended amendments to LAMC 12.24 U.26.
- **Adjustments to percentages** of proposed capacity in High Opportunity Areas, and **revisions to Exhibit D**, option 4.

권장 사항

권장 조치

1. 시의회는 의사결정자의 독립적인 판단에 따른 전체 기록을 토대로 CHIP 조례가 채택된 주택 공급 요소 환경 영향 보고서 번호 ENV-2020-6762-EIR(SCH No. 2021010130), 2021년 11월 29일 인증, 부록 1호 (ENV-2020-6762-EIR-ADD1), 2022년 6월 14일 인증, 부록 2호 (ENV-2020-6762-EIR-ADD2)(총칭하여, "환경 영향 보고(EIR)"); 부록 2를 채택합니다. CEQA 지침 섹션 15162 및 15164에 따라 후속 또는 보충 EIR이 필요하지 않다고 결정하며 모니터링 완화 프로그램을 채택합니다.
2. 로스앤젤레스 지방자치법 섹션 13B.1.3에 따라 로스앤젤레스 시의회 제1장, 제1A장 및 제15장에 대한 수정 사항을 포함하여 지역 코드를 수정하기 위해 제안된 CHIP 조례(증거 A)를 시의회가 채택할 것을 권장합니다. 섹션 12.03, 12.21, 12.22, 12.24, 13.09, 13.15, 14.00, 14.5.4, 16.05, 19.01, 19.14, 19.18 및 1장의 관련 코드 섹션에 대한 개정을 포함한 지방자치법 1장의 섹션 11.5.15 추가; 2조, 8조, 9조, 13조 및 1A장의 기타 관련 규정 섹션에 대한 개정; 그리고 15장의 151.28항에 대한 기술적 개정;
3. 제안된 CHIP 조례의 발효일 이후에 시의회가 도시 계획 국장에게 첨부 C에 표시된 환경 보호 조치 핸드북을 준비하도록 지시할 것을 권장합니다.
4. 도시 계획국은 직원 추천 보고서에 설명된 정책 변경에 따라 조치 항목 2에서 식별된 LAMC 1장을 LAMC(새 구역 코드) 1A장으로 수정하는 제안된 CHIP 조례를 통합하기 위하여 새로운 지역 코드의 형식과 스타일을 준수하는 조례를 준비하도록 요청합니다. 또한 시의회가 제안된 CHIP 조례의 1A장 버전을 채택할 것을 권고합니다.
5. 직원 추천 보고서를 해당 주제에 대한 위원회의 보고서 및
6. 결과를 채택합니다.

CHIP 팀 정보

주 밀도 보너스 프로그램

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<https://planning4la.org/CHIP> | housingelement@lacity.org

프레젠테이션 종료

Additional Slides for Reference

CHIP Ordinance Overall

Environmental Protection Measures (EPMs)

Revise Hazardous Materials Standards EPMs requiring Environmental Site Assessments to:

- Apply to CHIP Projects
- Expand buffers from active oil wells/oil fields from 50 ft. to 1,000 ft.



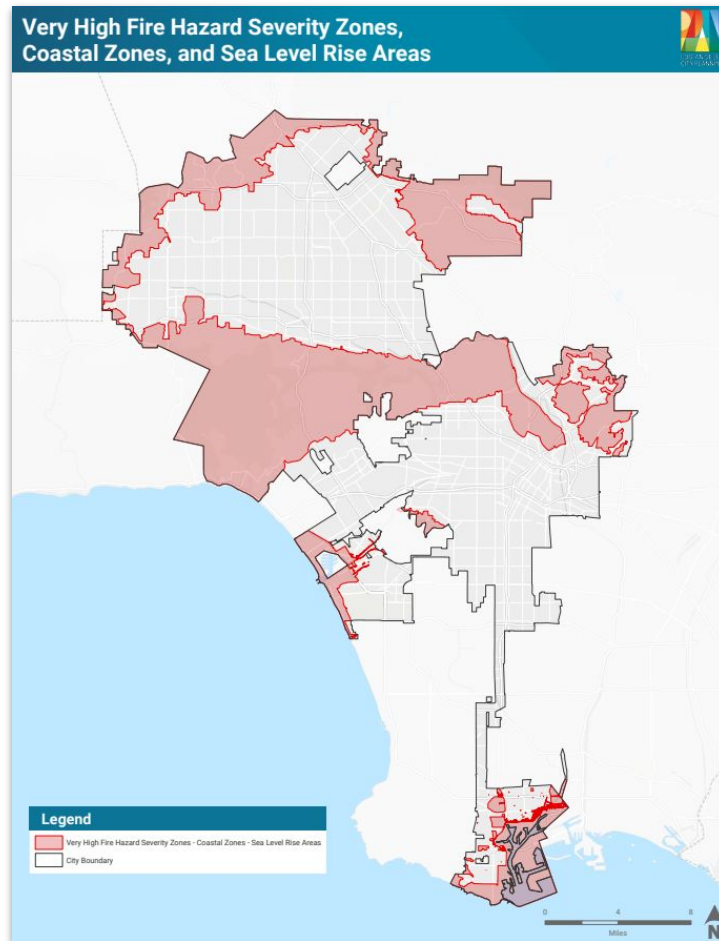
Sensitive Environmental Areas

State Density Bonus and AHIP

- Sites in VHFHSZ, Coastal Zone, Sea Level Rise Areas are not eligible for certain Base Incentives, Menu of Incentives or Public Benefit Options.

MIIP

- Sites in VHFHSZ, Coastal Zone, Sea Level Rise Areas are not eligible for the program.



Single Family Zones

In **State Density Bonus**, single-family zones are not eligible for the program unless the Land Use permits the construction of at least 5 units.

In **AHIP**, single-family zones are not eligible for the program unless they are on sites owned by Faith-Based Organizations or Public Agencies.

In **MIIP**, single family zones are not eligible for the program.

Manufacturing Zones

In **State Density Bonus**, sites on manufacturing zones are eligible for the program if they can build at least 5 units.

In **AHIP**, sites on manufacturing zones are not eligible for the program unless they are Public Land Projects or unless they are 100% affordable projects receiving base state incentives.

In **MIIP**, sites on manufacturing zones are not eligible for the program.

Historic Resources

In State Density Bonus, MIIP, and AHIP, Projects may not demolish Designated Historic Resources. All Projects on sites with Designated Historic Resources shall be reviewed by OHR.

In MIIP and AHIP, Projects may not demolish certain Surveyed Historic Resources. Projects on sites with Surveyed Historic Resources may be subject to additional procedures.

In State Density Bonus FAR, Open Space, and Modification of a Development Standard Incentives are limited.

In MIIP, FAR, height, Open Space, and Modification of a Development Standard Incentives are limited. Reduced density incentives are offered in Corridor Transition Areas.



*The Richard Neutra VDL house in Silverlake,
a Los Angeles Historic-Cultural Monument
Image: Flavin Architects*

Above Grade Parking

CHIP Ordinance - June 2024 Draft

State DB required above grade parking to count as floor area for projects using an FAR incentive.

MIIP and AHIP required above grade vehicular parking to count as floor area for projects utilizing an FAR incentive, unless the parking structure is flexible for future adaptable parking.

Proposed Revision - September 2024

Above grade vehicular parking will not be counted towards the Project's calculation of floor area.

September Global Revisions to CHIP Ordinance

- New Environmental Protection Measures Handbook
- Revised Environmental Consideration A ESA requirement within 1,000 feet of active oil well
- Revisions to FAR and Height Incentives in State DB, MIIP, and AHIP
- Revised Above-Ground Parking requirements
- New Eligible Historic Facade Retention Public Benefit Option
- Revised Multi-Unit Bedroom Public Benefit Option
- Revision to decision making for Class 3 CUP
- Clarified appeal and hearing procedures for Expanded Administrative Review

September Revisions to Programs

State Density Bonus Program

- New incentives for Senior Independent Housing
- Clarified eligibility for lots in VHFHSZ, Sea Level Rise, and Coastal Zones

Mixed Income Incentive Program

- Updated Affordability Set-Aside Requirements
- Consolidated TOIA Tiers 1 and 2
- Modified Procedures of Off-Menu Incentives

Affordable Housing Incentive Program

- Added New Shared Equity Project Type
- Revised Procedures for Designated and Eligible Historic Resources
- Expanded definition of a Qualified Developer

Key Issues

Affirmatively Furthering Fair Housing

Single-Family Inclusion

Affordability Level Considerations

Process Streamlining

Environmental Considerations

FBO Adjacency and Acquisition

Labor Provisions

Executive Directive 1 Considerations

Expanded Incentives

Relationship with Community Plan Updates

Density Bonus Framework

State Density Bonus Program Basics

State Density Bonus Law enables:

- **Increased density** and **reduced parking** by-right
- Up to 4 incentives for housing developments depending on affordable units provided
- **Waivers** or reductions from development standards

The City's CHIP programs allow projects to select from pre-vetted menus of incentives for streamlined review.



*Burbank Boulevard Senior Housing, TCA Architects
Image: Urbanize LA*

CHIP Framework

Menus of Incentives

- Projects may utilize a number of incentives from a pre-set “menu of incentives”

Public Benefit Options

- By-right development bonuses for community benefits

All Programs

Public Benefit Options
(Max Bonus)

All Programs

Additional Incentives
(on or off-menu)

State DB:
Density + Parking

MIIP/AHIP:
Density, Parking,
Height, and FAR

Base Incentives

BASE ZONING



--- Other Targeted Amendments & Procedures

Other Targeted Amendments

Affordable Housing Linkage Fee Exemption

Requires projects to pay a fee, unless they provide a percentage of on-site restricted affordable units.

CHIP amends the AHLF by adding an exemption from the fee for projects that utilize the MIIP Program.

Project Review (Site Plan Review) Exemption

Project Review is discretionary approval required for multi-family projects with 50+ market-rate units.

CHIP adds an exemption for Projects that provide Restricted Affordable Units consistent with the requirements for Projects exempt from AHLF.

Other Targeted Amendments cont.

LAMC 12.24 U.26 - Density Bonuses Exceeding those available in State Density Bonus Law

Revisions recommended in order to maintain a discretionary process for projects seeking a density bonus of 50% or more so that projects can still opt to provide Restricted Affordable Units in a single income category, opposed to the mixed-affordability options under State Density Bonus Law (AB 1287).

		Ministerial		Discretionary	
Program	Allowed Incentives	LADBS	City Planning (Expanded Admin Review)	DIR (appeal to CPC)	CPC (CPC Final Decision Maker)
State Density Bonus Program	Up to 4*	Base Incentives Menu of Incentives	Public Benefit Options Incentives Not on Menu of Incentives	N/A	Waivers Projects Exceeding 50% or 88.75% Density Bonus
Mixed Income Incentive Program	Up to 4*	Base Incentives Menu of Incentives	Public Benefit Options Incentives Not on Menu of Incentives	Up to 1 Waiver	>1 Waiver
Affordable Housing Incentive Program	Up to 5*	Base Incentives Menu of Incentives	Public Benefit Options Incentives Not on Menu of Incentives Up to 1 Waiver	Up to 3 Waivers	>3 Waivers

Expanded Administrative Review

Creation of a new ministerial process known as “Expanded Administrative Review” in LAMC Section 13B.3.2

The new Expanded Administrative Review process:

- Allows staff to host a public informational hearing
- Offers applicants the ability to seek a modification



Additional Incentives

Menu of Incentives

On-Menu Incentives	DB	MIIP	AHIP
Yards	✓	✓	✓, ✓*
Height	✓	Incl. as base incentive	Incl. as base incentive
FAR	✓	Incl. as base incentive	Incl. as base incentive
Transitional Height (<i>Not required in AHIP</i>)	✓	✓	✓
Space Between Buildings and Passageways (<i>NEW</i>)	✓	✓	✓, ✓*
Lot Coverage	✓	✓	✓
Lot Width	✓	✓	✓
Open Space (<i>Modified</i>)	✓	✓	✓
Density Calculation	✓	✓	✓
Averaging of FAR, Density, Parking, Open space, Permitting Vehicular Access	✓	✓	✓
Relief from a Development Standard (<i>NEW</i>)	✓	✓	✓
Supplementary Parking Reductions (<i>NEW</i>)	✓		✓ (Commercial Parking)
P Zone	✓	✓	Incl. as base incentive
Senior Independent Housing	✓		
Ground Floor Height (<i>NEW – 20% reduction</i>)		✓	✓
Ground Floor Activation (<i>NEW – 50% reduction</i>)		✓	✓

Parking Requirements

Program	Parking Requirement	Parking Ratio
State Law	AB 2097 (CA Government Code Section 65863.2): No parking requirement within 0.5 mile of a Major Transit Stop (MTS).	
Density Bonus Program	No parking requirement within 0.5 mile of MTS per AB2097, and the following reduced parking ratios, if applicable:	0-1 bd: 1 space 2-3 bd: 1.5 spaces 4+ bd: 2.5 spaces
Mixed Income Incentive Program	No parking requirements.	N/A
Affordable Housing Incentive Program	No parking requirement within 0.5 mile of MTS per AB2097, within Low VMT area, or in Higher and Moderate Opportunity Areas.	Citywide Incentive Area: 0.5 spaces/unit

Relief from a Development Standard (DB, MIIP, and AHIP) – Menu Incentive

CHIP Text:

Relief from a Development Standard. A Housing Development may request up to a 20% relief from a Development Standard contained in Chapter 1 of this Code, an Overlay, a Specific Plan, a Q Condition, or a D Condition, as long as the Project provides a min. of 30 points under the Landscape and Site Design Ordinance. This incentive may be requested more than once.

- (i) Exception. This incentive shall not apply to standards that regulate FAR, Height, yards/setbacks, ground story requirements, signs, parking in front of buildings, usable open space or a Designated Historic Resource or Non-Contributing Element.

Open Space (DB, MIIP, and AHIP) – Menu Incentive

Existing LAMC (Ch. 1)

- Calculated on a per unit basis according to unit size:
 - o 100 SF if < 3 habitable rooms
 - o 125 SF if = 3 habitable rooms
 - o 150 SF if > 3 habitable rooms
- 50% must be common open space
- 25% max may be indoor recreation rooms

On-Menu Incentive

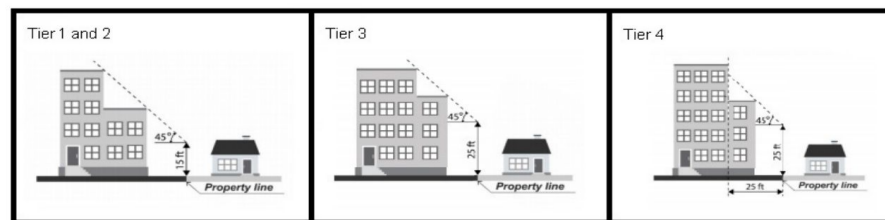
- Current incentive is a 20% reduction in overall open space requirement.
- Received feedback from constituents, that they would like to see less open space reduction and more common open space.
- The proposed ordinance modifies the way that open space is calculated for a project as follows (in alignment with Ch1A of the Zoning Code):
 - o The greater of :
 - 15% of total lot area or
 - 10% of total floor area of residential units
 - o Must meet 30 points under (proposed) Landscape and Site Design Ordinance
 - o 50% common outdoor space required

Transitional Height – Menu Incentive

AHIP: Exempt From Transitional Height Requirement

**DB &
MIIP:**

**Current Transitional
Height per TOC
Guidelines:**

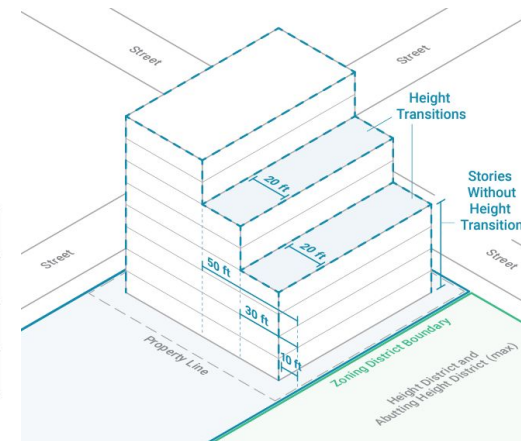


Proposed Transitional Height to Align with Ch. 1A:

The following setback and step-back requirements shall apply for a Housing Development Project where a property line adjoins a RW1 or more restrictive zone, Overlay, or Specific Plan subarea.

	Setback/Step Back Distance*
Side or Rear Setback	10-feet
4 Story Step-Back	30-feet
6 Story Step-Back	50-feet

*Setback and Step-back is measured from the property line.



Space Between Buildings and Passageways

CHIP Text:

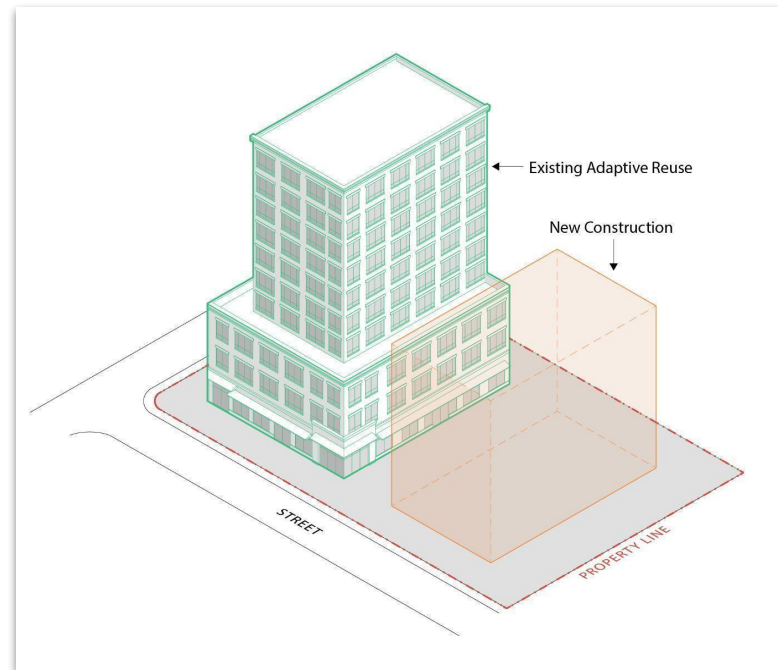
Projects eligible for the Base Incentives contained in this subdivision and subject to the provisions set forth in LAMC Section 12.21 C.2 may request a reduction in space between buildings and passageways requirements as follows:

- a. Up to a 30% reduction in the space between buildings required pursuant to LAMC Section 12.21 C.2(a); and
- b. Up to 50% reduction in the width of the passageway required pursuant to LAMC Section 12.21 C.2(b) or the space provided to meet a subject site's required side yard requirement, whichever provides a greater reduction. Passageways provided may extend from any public street adjacent to the project site.

Note: Additional relief from space between building and passageway requirements available for some low density sites in AHIP and for Corridor Transition Areas

Type I Unified Adaptive Reuse Projects

- Eligible for MIIP and AHIP incentives for the portion of project involving new construction.
- Affordable units would be required to be distributed pursuant to the Resident Protections Ordinance throughout the building conversion and new construction.
- A Type I Unified Adaptive Reuse Project shall provide Restricted Affordable Units in accordance with the program used and site specific affordability requirements.



Type I Adaptive Reuse Project (LAMC 12.22 A.26)

Public Benefits

Public Benefit Option Eligibility

Public Benefit Option	DB	MIIP	AHIP
Child Care Facilities (State Law)*	✓	✓	✓
Multi-Bedroom Units	✓	✓	✓
Preservation of Trees		✓	✓
Land Donation (State Law)*	Incl. as Base Incentive	✓	✓
Active Ground Floor Exemption from Calculation of Floor Area		✓	✓
Privately Owned Public Space		✓	✓
Surveyed Historic Resource Facade Rehabilitation	✓	✓	✓

* Projects in VHFHSZ, Coastal Zone, and Sea Level Rise areas using State Density Bonus or AHIP only eligible for starred public benefit options

Multi-Bedroom Unit - Public Benefit

Option 1

Projects that include at least 10% of Residential Units as 3+ bedrooms shall be granted additional FAR and Height, as shown below:

Overall Residential Units	Additional FAR	Additional Height (Stories)
0-30	0.5:1	1
31-50	1.0:1	
51-75	1.5:1	2
75+	2.0:1	

Option 2

Projects may be granted additional FAR and Height as described below:

- A. An exemption of the square footage of all Residential Units with three or more bedrooms, and/or
- B. An additional story of height beyond what is available.

Preservation of Trees

CHIP Text:

An additional 11 feet of height may be awarded for projects that maintain existing mature, Significant Trees (any tree that measures 12 inches or more in diameter at four and one-half feet above the average natural grade at the base of the tree and/or is more than 35 feet in height), as verified by a focused Tree Report prepared by a certified arborist.

A covenant shall be filed with LADBS that requires the tree to be maintained for at least 15 years unless a certified arborist certifies that the tree is dead, dying or dangerous to public health.

Active Ground Floor Use (MIIP & AHIP)- Public Benefit

Up to 1500 SF of Active Ground Floor Use exempt from FAR.

- Includes Neighborhood Retail and Services Uses.
- 60% transparency required along primary street frontage.
- Pedestrian entrance every 50 feet along front property line.

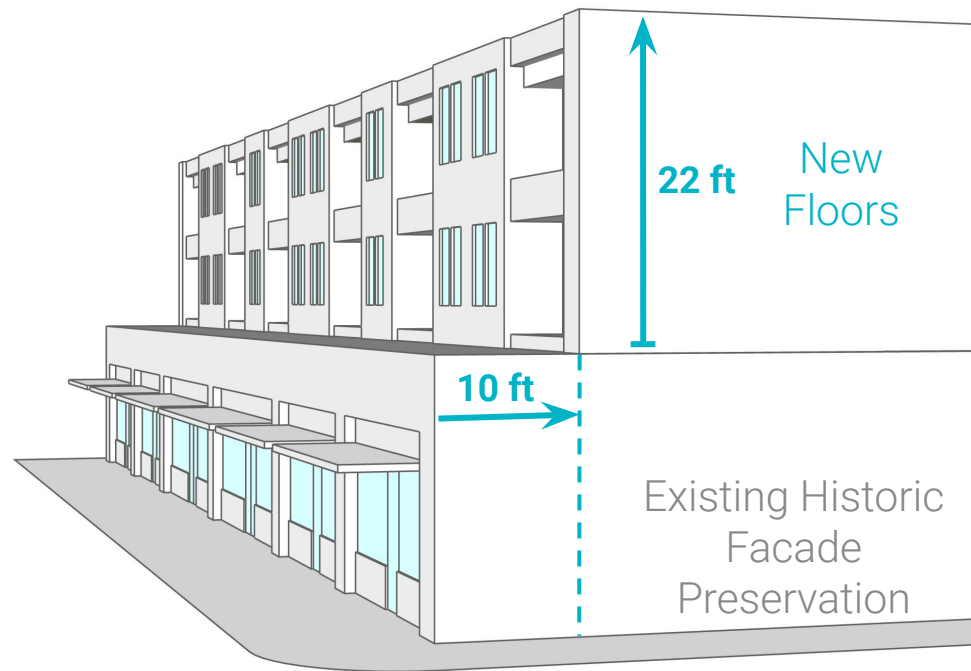


Shopfront Frontage from New Zoning Code illustrating 60% transparency and entrances every 50'

Surveyed Historic Resource Facade Rehabilitation

Projects incorporating a Surveyed Historic Resource(s) into the Project design shall be granted up to 1.0 FAR and 22 feet in height, provided the following standards are met:

- i. The Project retains all street Fronting facades to a depth of 10-feet,
- ii. New Floor Area shall be setback behind the 10-foot retention area, with exceptions for encroachment,
- iii. Rehabilitation of the facades is completed pursuant to the Secretary of the Interior's Standards for Rehabilitation to the satisfaction of the Office of Historic Resources.



Privately Owned Public Space (MIIP & AHIP) – Public Benefit

4% of Buildable Lot Area provided as
“Privately Owned Public Space” = 0 rear yard
setback



POPS in DTLA

Image courtesy: Urban Design Studio

Criteria:

- Must exceed Common Outdoor Space Requirement
- Minimum 15 feet in width
- Free of charge sunrise to sunset
- Signage acknowledging public access
- One tree every 1000 feet (non-palm)
- 3 Ground floor pedestrian amenities selected from:
 1. Movable Furniture
 2. Pedestrian Lighting
 3. At grade planting
 4. Hydration station
 5. Urban Garden
 6. Play/Exercise Equipment
 7. Running Water

State Density Bonus

Incorporation of State Density Bonus Law

Extensive legislative changes in past 9 Years:

- City currently relies on multiple implementation memos to comply with existing State DB Law.
- At least 17 state bills have significantly amended the state's DB Law (CA Govt. Code 65915 - 65918).
 - AB 1287:
 - Up to 38.75% Additional Density Bonus (88.75% total DB by-right) for additional VLI units
 - Up to 50% Additional Density Bonus (100% total DB by-right) for additional MI units

2023:

- AB 1287 (Density Bonus: Additional density bonus)

2022:

- AB 2334 (Density Bonus: Very low vehicle travel areas, definitions)
- AB 682 (Benefits for Shared Housing or Co-Living Buildings)

2021:

- SB 290 (Housing for lower income students: moderate-income persons and families)
- SB 728 (Purchase of density bonus units by nonprofit housing organization)

2020:

- AB 2345 (Density bonuses: annual report: affordable housing)

2019:

- AB 1763 (Density bonuses: affordable housing)

2018:

- AB 1227 (Student Housing Density Bonuses)
- AB 2372 (Density bonus: floor area ratio bonus)
- AB 2753 (Density Bonus Application)
- AB 2797 (Harmonizing Density Bonus and Coastal Act)

2016:

- AB 2501 (Housing: density bonuses),
- AB 2556 (Density Bonuses),
- AB 2442 (Density Bonuses),
- AB 1934 (Density bonuses: mixed-use projects) - extended by AB 1551 (2022)

2015:

- AB 744 (Planning and zoning: Density bonuses).

2013:

- AB 2222 (Housing density bonus)

FAR Bonus in LAMC 12.22 A.25

Zones	LAMC 12.22 A.25 (DB Today)	September 2024 Draft
C Zones	A percentage increase in allowable FAR equal to the percentage of Density Bonus, not to exceed 35% or 3.0:1, <u>whichever is greater</u> for projects within 1,500 feet of a Transit Stop and on a Major Highway	FAR increase equal to percentage of Density Bonus, not to exceed 35% or FAR of 3:1, whichever is greater if located within ½ mile radius of a Major Transit Stop Exception: Sites on “RD” or more restrictive zones; or sites with Designated Historic Resources or Non-Contributing Elements not eligible for FAR bonus
R Zones	A percentage increase in allowable FAR equal to the percentage of Density Bonus, not to exceed 35%	

State DB FAR Bonus

Revised FAR Incentive

- R-zones now eligible for On-Menu FAR Incentive
- Revises On-Menu FAR Incentive for C Zones and R Zones to equal % of Density Bonus
- Added an exception to remove sites with Designated historic resources from eligibility and “RD” or more restrictive

Zones	June 2024 Draft	September 2024 Draft
C Zones	2.5:1 or 35%, whichever is greater Exception: Sites with Designated Historic Resources or Non-Contributing Elements not eligible for FAR bonus	FAR increase equal to percentage of Density Bonus, not to exceed 35% or FAR of 3:1, whichever is greater if located within ½ mile radius of a Major Transit Stop Exception: Sites on “RD” or more restrictive zones; or sites with Designated Historic Resources or Non-Contributing Elements not eligible for FAR bonus
R Zones	N/A	

MIIP

Opportunity Corridor Eligibility Requirements

Opportunity Corridor 1: Corridors with Frequent Bus Service

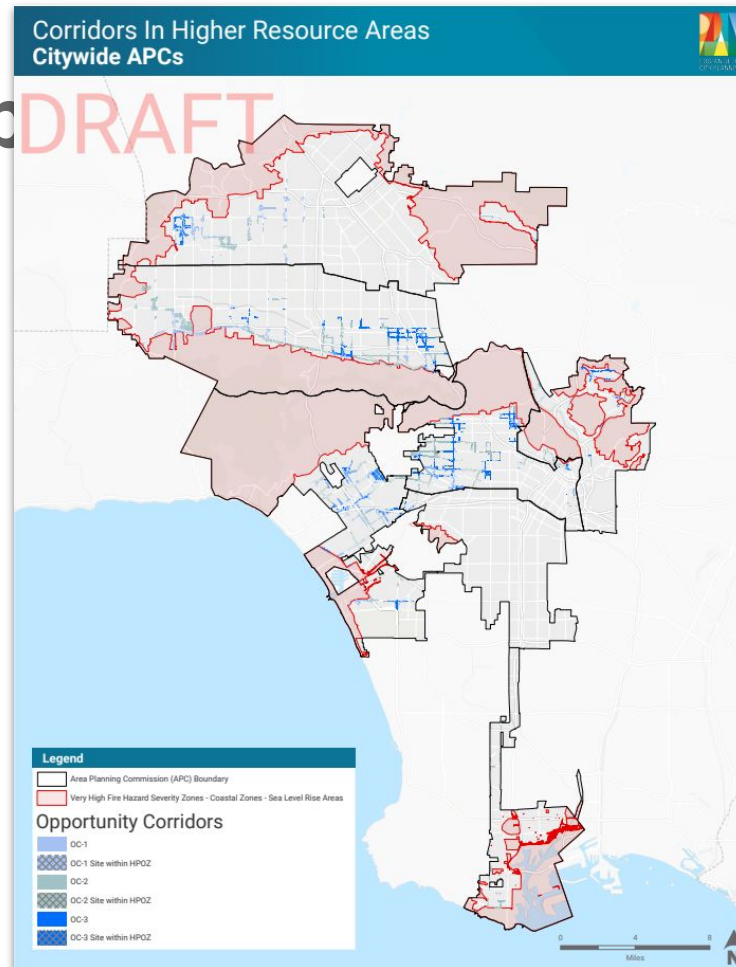
- At least 30 min. frequency during peak hours

Opportunity Corridor 2: Corridors with High Quality Transit Service

- At least 15 min. frequency during peak hours

Opportunity Corridor 3: Corridors within 0.5 mile of Major Transit Stop

- Avenues and Boulevards in TOIA T-2 and T-3



Opportunity Corridor Incentive Areas

OC3 7 stories

OC2 6 stories

OC1 5 stories

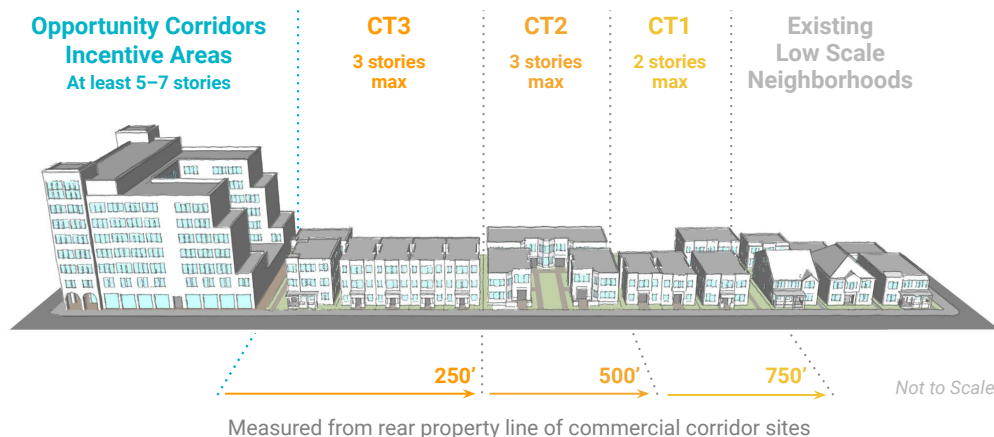


Expands incentives to **transit served corridors** in **Higher Opportunity Areas**.

Envisions podium developments that are at least 5 to 7 stories (or 1 to 3 additional stories in height and additional height through public benefit options).

Not to Scale

Opportunity Corridors and Transition Areas



- The Opportunity Corridor Program expands incentives to **transit served corridors** in **Higher Opportunity Areas**
- Creates form based incentives for at least 5 to 7 story structures.
- Transitioning from the opportunity corridors to lower scale residential neighborhoods the Corridor Transition Incentives offer missing middle forms with limited density.

Corridor Transition Incentive Areas

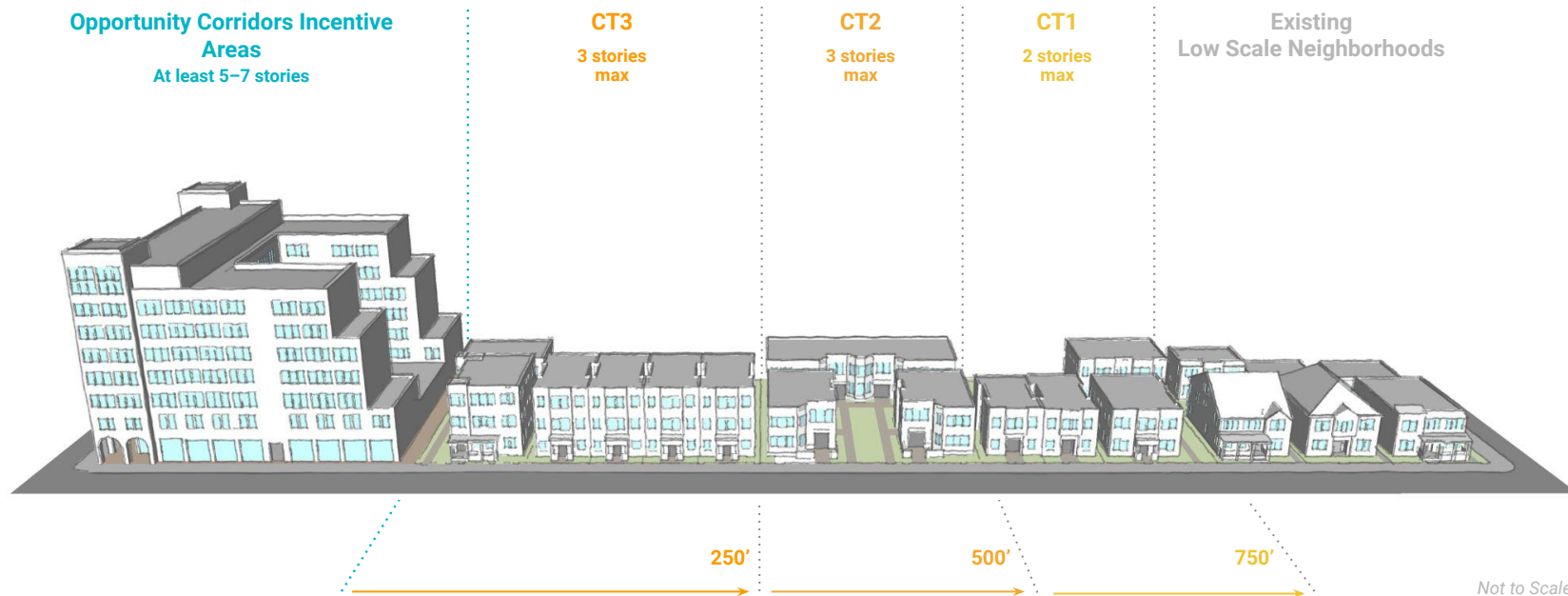
- The program limits FAR to scale to the number of units provided, and
- Requires **Common Open Space and Street-Facing Entryway performance standards** to ensure pedestrian oriented design outcomes.



Examples of Housing in the Opportunity Corridor Transition Incentive Area

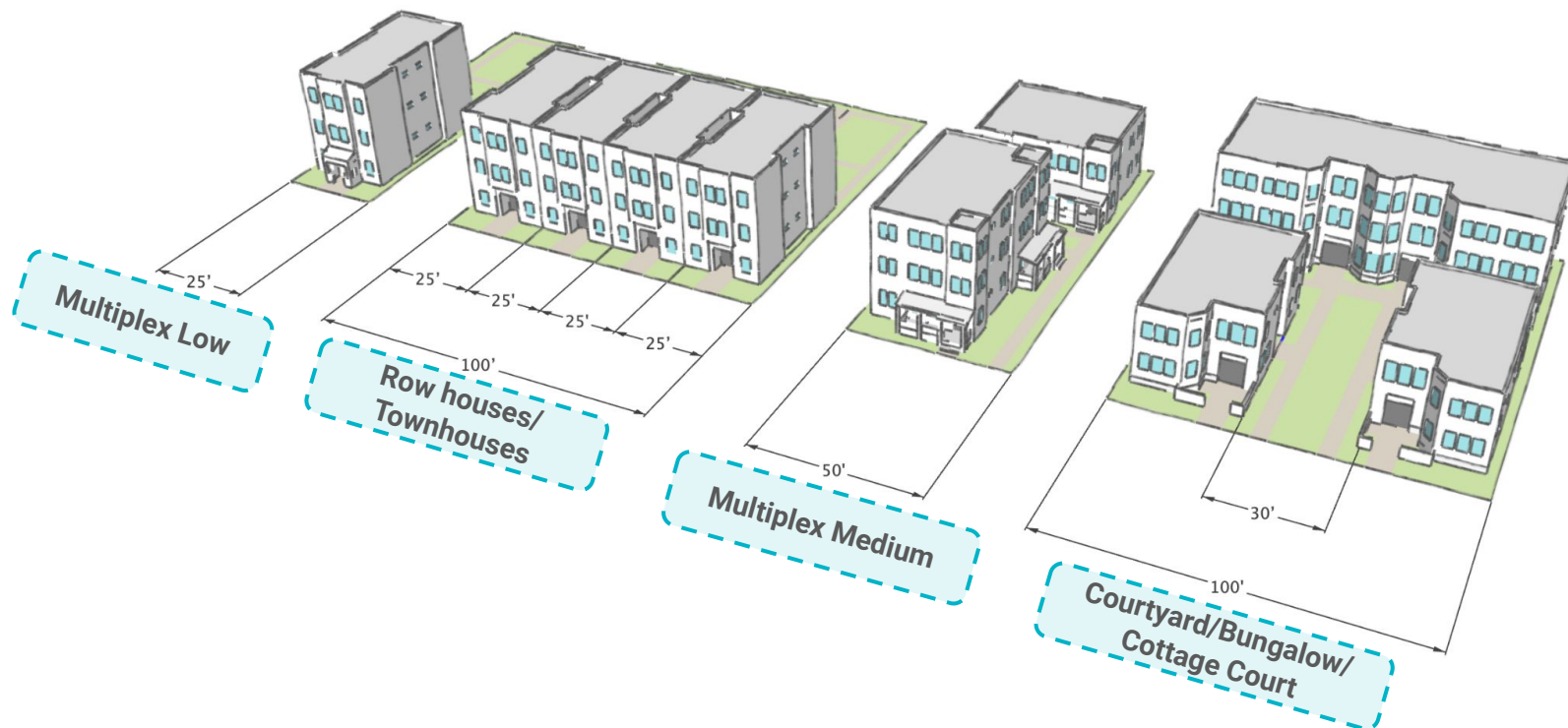
Corridor Transition Base Incentives		
Subarea	Density	FAR (max)
CT-1A	4 unit	1.15
CT-1B	5 unit	1.30
	6 unit	1.45
CT-2	7 unit	1.60
	8 unit	1.75
	9 unit	1.90
	10 unit	2.0
CT-3	11 unit	2.15
	12 unit	2.30
	13 unit	2.45
	14 unit	2.60
	15 unit	2.75
	16 unit	2.9

Corridor Transition Incentive Area Diagram



Measured from rear property line of commercial corridor sites

Corridor Transition Typology Examples



Restricted Affordability Set Aside Requirements - Single Affordability

Existing TOC Guideline Requirements

Tier	Minimum Percent of Total Units Provided as Restricted Affordable Units		
	Income Level		
	Extremely Low Income	Very Low Income	Low Income
T-1	8%	11%	20%
T-2	9%	12%	21%
T-3	10%	14%	23%
T-4	11%	15%	25%

September 2024 Draft

Market Tier	Incentive Program		Minimum Percent of Total Units Provided as Restricted Affordable Units		
	Transit Oriented Incentive Area	Opportunity Corridors Incentive Area	Income Level		
			Extremely Low Income	Very Low Income	Low Income
Low and Medium Market Tiers	T-1	OC-1	9%	12%	21%
	T-2	OC-2	10%	14%	23%
	T-3	OC-3	11%	15%	25%
High Medium and High Market Tiers	T-1	OC-1	11%	14%	23%
	T-2	OC-2	12%	16%	25%
	T-3	OC-3	13%	17%	27%

Affordability Set Asides: Mixed Affordability Options

June 2024 Draft

Market Tier	Minimum Percent of Total Units Provided as Restricted Affordable Units			
	Income Level			
	Acutely Low Income	Extremely Low Income	Very Low Income	Moderate Income
Lower Opportunity Areas				
Low and Medium Market Tiers	-	4%*	8%	-
High Medium and High Market Tier	-	5%*	9%	-
Higher Opportunity Areas				
Low and Medium Market Tiers	1%*	4%	-	18%
High Medium and High Market Tier	1%*	5%	-	18%

September 2024 Draft

Opportunity Area	Minimum Percent of Total Units Provided as Restricted Affordable Units			
	Income Level			
	Acutely Low Income (For Rental or For Sale)	Extremely Low Income (For Rental or For Sale)	Very Low Income (For Rental or For Sale)	Moderate Income (For Rental or For Sale)
Lower Opportunity Areas		4%	8%	
Higher Opportunity Areas	4%	4%	-	12%

Footnote:

* One of the covenanted affordable units at the deepest affordability income category must be provided as 3-bedroom unit per Project.

Restricted Affordable Set-Aside Units

Option 1: Single Affordability Requirements

Market Tier	Incentive Program		Minimum Percent of Total Units Provided as Restricted Affordable Units		
	Transit Oriented Incentive Area	Opportunity Corridors Incentive Area	Income Level		
			Extremely Low Income	Very Low Income	Low Income
Low and Medium Market Tiers	T-1	OC-1	9%	12%	21%
	T-2	OC-2	10%	14%	23%
	T-3	OC-3	11%	15%	25%
High Medium and High Market Tiers	T-1	OC-1	11%	14%	23%
	T-2	OC-2	12%	16%	25%
	T-3	OC-3	13%	17%	27%

Option 2: Mixed Affordability Requirements

Opportunity Area	Minimum Percent of Total Units Provided as Restricted Affordable Units			
	Income Level			
	Acutely Low Income	Extremely Low Income	Very Low Income	Moderate Income
Moderate and Low Opportunity Areas		4%*	8%	
Higher Opportunity Areas	4%*	4%	-	12%

Footnote:

* One of the covenanted affordable units at the deepest affordability income category must be provided as 3-bedroom unit per Project.

Existing TOC vs. TOIA Base Incentives

Existing TOC FAR Incentives

Eligibility Subarea	Density Bonus	FAR Bonus	Height
Tier 1	50%	R zones: 40% C zones: 2.75 or 40% increase	One additional story, up to 11 additional feet.
Tier 2	60%	R zones: 45% C zones: 3.25 or 45% increase	
Tier 3	70%	R zones: 50% C zones: 3.75 or 50% increase	Two additional stories, up to 22 additional feet.
Tier 4	80%	R zones: 55% C zones: 4.25 or 55% increase	Three additional stories, up to 33 additional feet.

TOIA FAR Incentives - September 2024

Eligibility Subarea	Density Bonus	FAR (max)	Height (max)
T1	Low Opp: 100%	R zones: 40% C zones: 3.25 or 40% increase	One additional story, up to 11 additional feet.
	High Opp: 120%	R zones: 40% C zones: 4.2 or 45% increase	
T2	Low Opp: 110%	R zones: 40% C zones: 4.2 or 45% increase	Two additional stories, up to 22 additional feet.
	High Opp: Limited by Floor Area	R zones: 45% C zones: 4.5 or 50% increase	
T3	Low Opp: 120%	R zones: 45% C zones: 4.5 or 50% increase	Three additional stories, up to 33 additional feet.
	High Opp: Limited by Floor Area	R zones: 50% C zones: 4.65 or 55% increase	

Revisions to TOIA DB and FAR Incentives

June 2024 Draft

Eligibility Subarea	Density Bonus	FAR (max)
T1	Low Opp: 90%	R zones: 35%
	High Opp: 100%	C zones: 3.0 or 40% increase
T2	Low Opp: 100%	R zones: 35% C zones: 3.25 or 40% increase
	High Opp: 120%	
T3	Low Opp: 110%	R zones: 40% C zones: 3.75 or 50% increase
	High Opp: Limited by Floor Area	
T4	Low Opp: 120%	R zones: 45% C zones: 4.25 or 55% increase
	High Opp: Limited by Floor Area	

September 2024 Draft

Eligibility Subarea	Density Bonus	FAR (max)
T1	Low Opp: 100%	R zones: 40% C zones: 3.25 or 40% increase
	High Opp: 120%	R zones: 40% C zones: 4.2 or 45% increase
T2	Low Opp: 110%	R zones: 40% C zones: 4.2 or 45% increase
	High Opp: Limited by Floor Area	R zones: 45% C zones: 4.5 or 50% increase
T3	Low Opp: 120%	R zones: 45% C zones: 4.5 or 50% increase
	High Opp: Limited by Floor Area	R zones: 50% C zones: 4.65 or 55% increase

Opportunity Corridor FAR Incentives

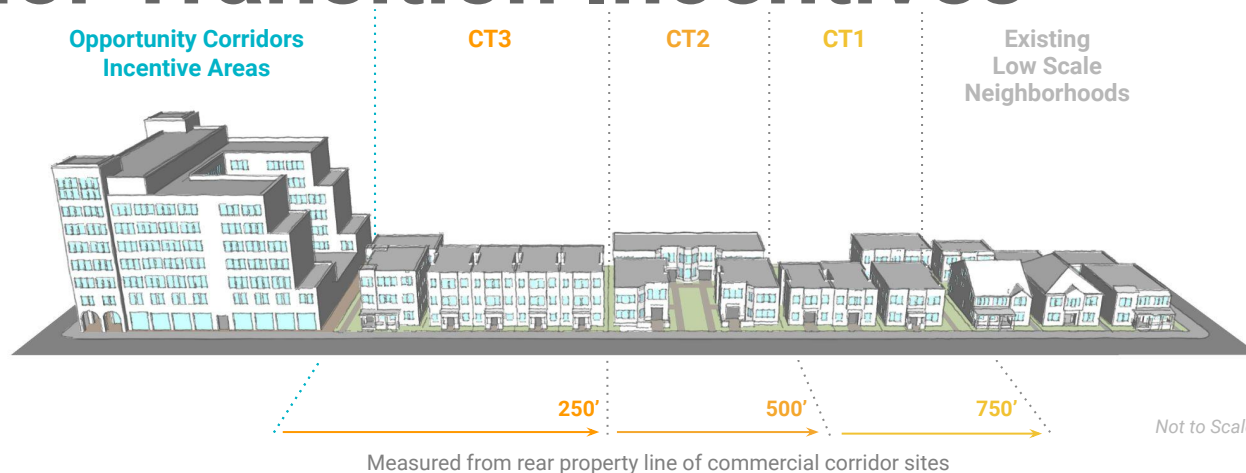
June 2024 Draft

Eligibility Subarea	Density	Floor Area Ratio	Height
OC-1	Limited by Floor Area	R zones: 3.0:1 C zones: 3.5:1 or 40% increase, whichever is greater	1 additional story, up to 11 additional feet; or up to a maximum of 5 total stories, whichever is greater.
OC-2		R zones: 3.5:1 C zones: 4.0:1, or 45% increase, whichever greater	2 additional stories, up to 22 additional feet; or up to a maximum of 6 total stories, whichever is greater.
OC-3		4.5, or 50% increase, whichever greater	3 additional stories, up to 33 additional feet; or up to a maximum of 7 total stories, whichever is greater.

September 2024 Draft

Eligibility Subarea	Density	Floor Area Ratio	Height
OC-1	Limited by Floor Area	R zones: 45% increase C zones: 4.5:1 or 50% increase , whichever is greater	1 additional story, up to 11 additional feet; or up to a maximum of 5 total stories, whichever is greater.
OC-2		R zones: 50% increase C zones: 4.65, or 55% increase , whichever greater	2 additional stories, up to 22 additional feet; or up to a maximum of 6 total stories, whichever is greater.
OC-3		4.8, or 60% increase , whichever greater	3 additional stories, up to 33 additional feet; or up to a maximum of 7 total stories, whichever is greater.

Corridor Transition Incentives



Eligibility Subarea	Distance from Opportunity Corridor	Number of Units	FAR (max)	Height (max)
CT1	750 feet	Up to 6 units	1.15 - 1.45	2 stories
CT2	500 feet	Up to 10 units	1.60 - 2.0	3 stories
CT3	250 feet	Up to 16 units	2.15 - 2.90	3 stories

Corridor Transition Affordability Set-Aside Requirements

Corridor Transition Base Incentives		
Subarea	Density	FAR (max)
CT-1A	4 unit	1.15
CT-1B	5 - 6 unit	1.30 - 1.45
CT-2	7 - 10 unit	1.60 - 2.0
CT-3	11 - 16 unit	2.15 - 2.9

Incentive Program	Minimum Percent of Total Units Provided as Restricted Affordable Units ¹		
	Income Level		
Corridor Transition Incentive Area	Very Low Income	Low Income	Moderate Income
CT-1A	-	-	1 unit
CT-1B and CT-2	1 unit	1 unit	2 units
CT-3	2 units	2 units	3 units

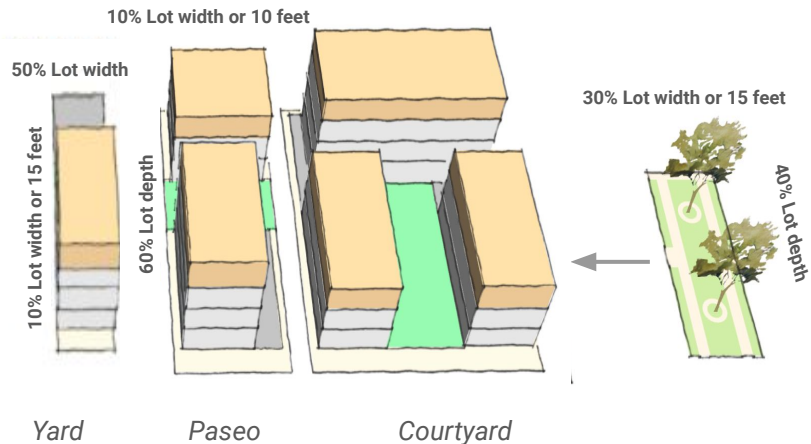
Footnote:

1 For consolidated lots, the Project shall provide the same affordability as required per individual lot. For example, if a project consolidated two lots into one project using CT-2 incentives, the project would be required to provide either 2 Very Low Income or Low Income units, or 4 Moderate Income units.

Corridor Transition Design Standards: Open Space and Entrance Menus

Common Outdoor Space

- **Courtyards, paseos, and rear yards** encourage healthy living and walkability.



Street-Facing Entrances

- **Porches, forecourts, and recessed entries** enhance the public realm, providing direct visual and physical connections to the street.



AHIP

Public Land Project

- **Eligibility:** Owned by **Public Agency** or zoned for Public Facilities (PF)
- **Affordability:** 100% income restricted
- **Incentives:** Scale of base incentives depends on **highest adjacent zoning or City Council Resolution**
 - Always eligible for base 3.0 FAR and 3 stories before applying incentives



Isla Intersections, affordable housing on City-owned land

Faith-based Organization (FBO) Project

- **Eligibility:** Owned by **Religious Institution** working with a nonprofit Qualified Developer
- **Affordability:** Minimum **80%** income restricted with up to 20% of project units for Moderate Income, remaining restricted units for lower incomes
- **Incentives:** Scaled based on underlying zoning
- **Single Family Acquisition:** Must be within **528 feet** (0.1 miles) from an **existing Church or House of Worship**



*Faith Based Project Rendering
Image: AIA Seattle*



Shared Equity Projects













- **Eligibility:** Owned by Community Land Trust/Limited Equity Housing Cooperative/Workforce Housing Cooperative Trust
- **Affordability:** Minimum **80%** income restricted to Moderate Income and below
- **Incentives:** Can only use **lower density incentives regardless of base zoning**, unless receiving Measure ULA funding
- FBO and Shared Equity Projects are eligible for low scale subdivision incentives on-menu.



*Pigeon Palace
Community Land Trust Project in San Francisco*

AHIP Base Incentives

-  Max Allowable Residential Density **less than 5**
-  Max Allowable Residential Density **greater than 5**

Subarea	Parking	Density	Floor Area Ratio	Height
Citywide	Usually .5 spaces per unit	Matches State Density Bonus(80%)	<ul style="list-style-type: none">  1.5:1 (Maximum)  Greatest of 3.0:1 or 35% 	<ul style="list-style-type: none">  1' or 1 story  2' or 2 stories
Low-VMT/ ½ Mile of MTS	No Requirement	Limited by FAR	<ul style="list-style-type: none">  2.0:1 (Maximum)  Greatest of 4.5:1 or 50% 	<ul style="list-style-type: none">  1' or 1 story  3' or 3 stories
Moderate and High Opp	No Requirement Non-residential parking may be reduced by 25%	Limited by FAR	<ul style="list-style-type: none">  2.5:1 (Maximum)  Greatest of 4.65:1 or 55% 	<ul style="list-style-type: none">  1' or 1 story  3' or 3 stories

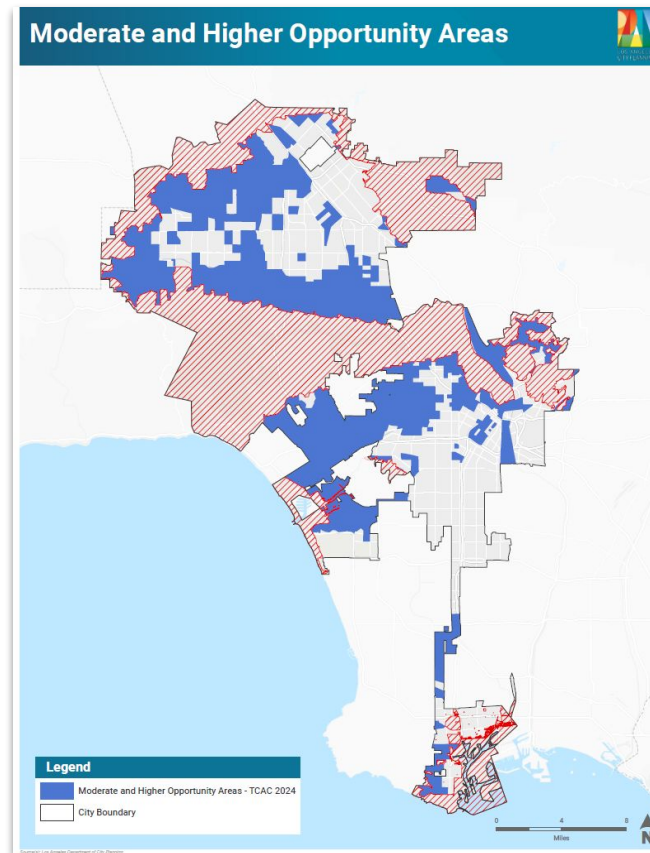
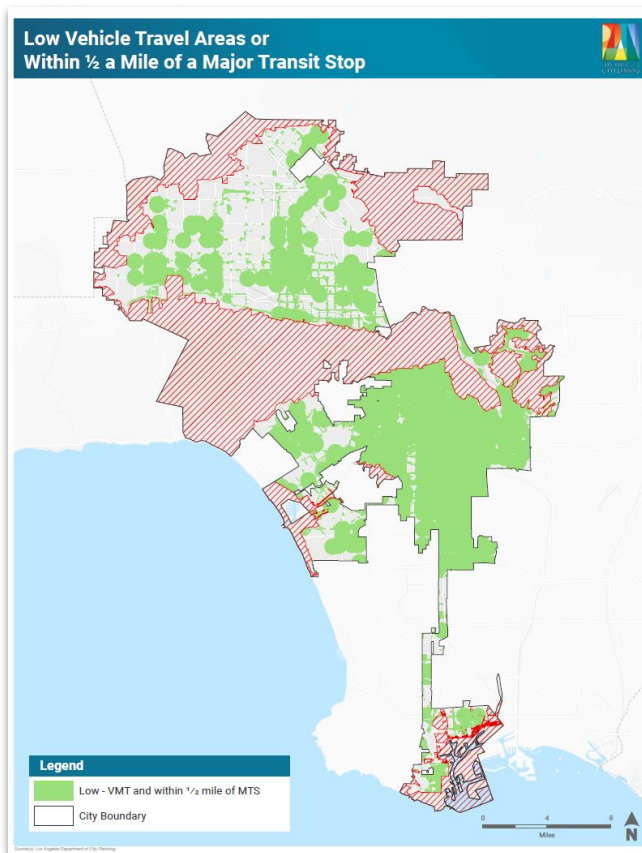
FAR Base Incentive Updates

Subarea	Floor Area Ratio Incentives June Draft	Floor Area Ratio Incentives September Draft
Citywide	<ul style="list-style-type: none"> 1.5:1 (Maximum) Greatest of 3.0:1 or 35% 	<ul style="list-style-type: none"> 1.5:1 (Maximum) Greatest of 3.0:1 or 35%
Low-VMT/ ½ Mile of MTS	<ul style="list-style-type: none"> 2.0:1 (Maximum) Greatest of 3.5:1 or 50% 	<ul style="list-style-type: none"> 2.0:1 (Maximum) Greatest of 4.5:1 or 50%
Moderate and High Opp	<ul style="list-style-type: none"> 2.5:1 (Maximum) Greatest of: R Zones: 3.5:1 or 50% C Zones: 4.5:1 or 55% 	<ul style="list-style-type: none"> 2.5:1 (Maximum) Greatest of 4.65:1 or 55%

● Max Allowable Residential Density **less than 5**

● Max Allowable Residential Density **greater than 5**

FAR Base Incentive Maps



100% Affordable Housing Projects and State DB

- 100% Affordable Housing Projects can access State DB law incentives through AHIP
- For project types and incentives in AHIP that exceed State DB, Department has added environmental restrictions for Projects in:
 - VHFHSZ, Coastal, Sea Level Rise areas
- 100% Affordable Projects in VHFHSZ, Coastal, Sea Level Rise areas:
 - Can only access Base Incentives in State DB law
 - Are not permitted to use Menu of Incentives
 - Require Expanded Administrative Review

Executive Directive 1 (ED1) and AHIP

ED1

Creates a new Administrative Review Process for 100% affordable housing projects, which:

- Streamlines existing discretionary review processes including Specific Plans, Overlay, and entitlement requests, by processing ministerially
- Relies on state or local incentive programs
- Must have a base zoning greater than 5 units

AHIP

- Must have a total project greater than 5 units
- Available to more projects due to inclusion of all sites allowing multi-family uses
- Streamlines existing discretionary processes by making them ministerial, but does not supersede processes in Specific Plans and Overlays
- Creates a local menu of incentives for 80-100% affordable developments
- Can be used in conjunction with ED1 or independently

SB 4 vs. AHIP FBO Projects

SB 4

- Streamlining for minimum 100% affordable projects on land owned by Religious Institution or institution of higher education.
- Land must be owned before Jan 1, 2024.
- Offers Base incentives for the development of faith owned land that can be used in conjunction with AHIP.
- Many restrictions regarding historic sites, environmentally sensitive areas and industrial land
- Labor Requirements

AHIP's FBO Projects

- Streamlining for minimum 80% affordable projects on land owned by Religious Institution.
- Permitted on historic and surveyed historic sites.
- Offers limited building volume incentives for low density sites to encourage more contextual design.
- Can be used instead of SB 4 incentives.
- *Exception*: Projects in SFZ purchased after Jan 1, 2024 can only use program if within 528 ft of existing Church or House of Worship

Key Considerations/ Issues

Relationship with Community Plan Updates

Future Plans

Future Community Plans, Specific Plans, Transit Neighborhood Plan Updates shall meet the minimum Base Incentives and percentage of set-aside affordable units for every lot eligible for the MIIP program, or will have to demonstrate no net loss findings.

Previously-Approved Plans

Boyle Heights, Downtown LA, Harbor Gateway, Wilmington Community Plan Updates and the CASP Specific Plan Update are exempt from incentives from the MIIP program.

Relationship with Community Plan Updates

- The CHIP Ordinance will work alongside the Community Plan updates
- The Citywide Housing Incentive Program will establish a framework of incentives based on general criteria and will not modify the underlying zoning
- Community Planning programs will apply zones informed by and calibrated to the CHIP Ordinance incentives
- The Community Planning programs will be looking at communities at the local level to fine tune land use designations and zoning regulations on the parcel level

Single Family Options

Option	Option Name
1	Comprehensive CHIP Applicability in Higher Opportunity Areas (Advocate Recommendation)
2	Broader Option Near Transit
3	Major Transit Stops Only
4	Opportunity Corridors Only
5	Limited Multi-Family Zones in Opportunity Corridors
6	High Opportunity Transit Areas in AHIP
7	Shared Equity Projects Citywide Near Transit

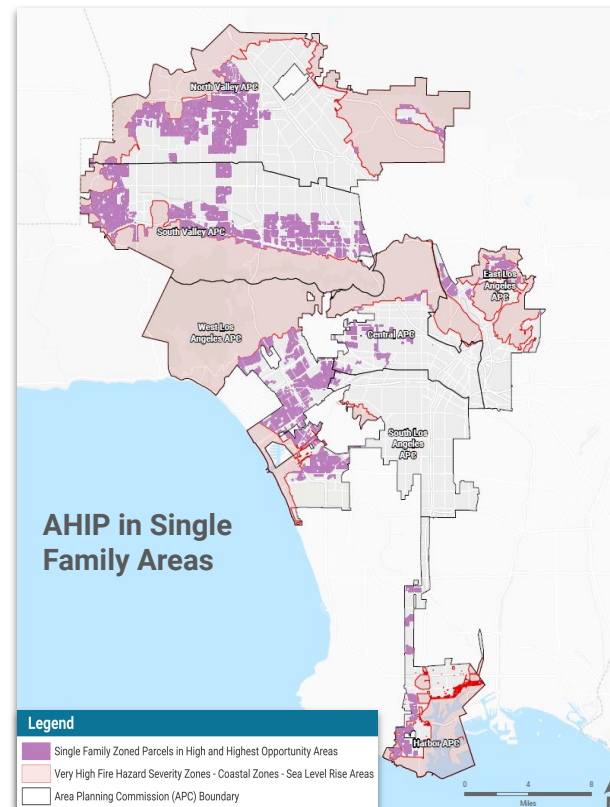
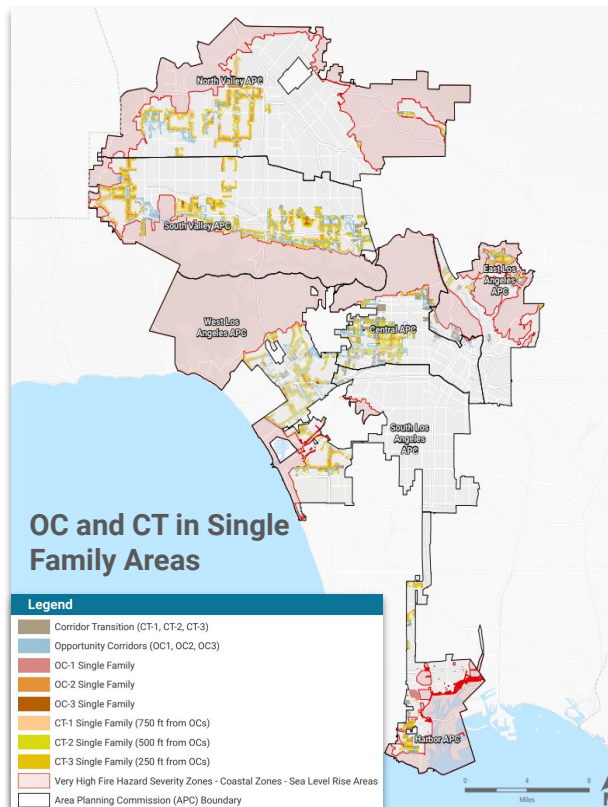
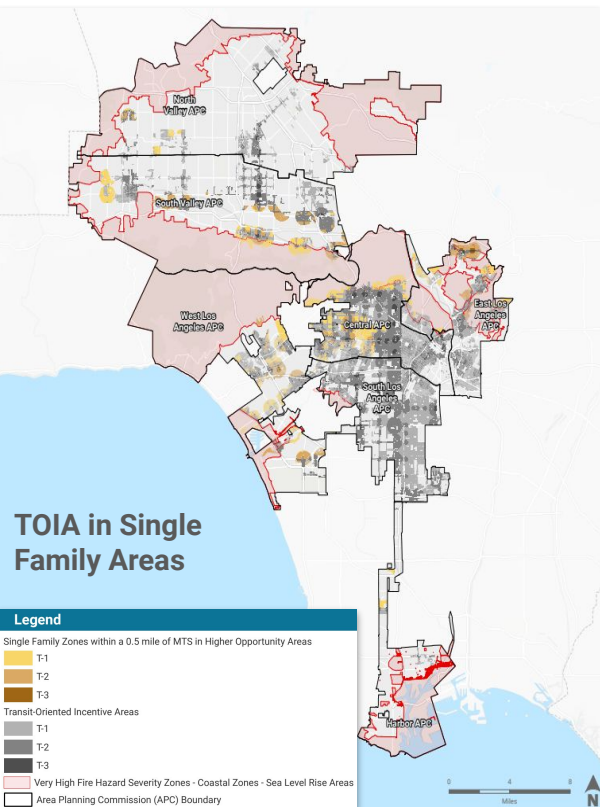
Option 1: Comprehensive CHIP Applicability in Higher Opportunity Areas

Option 1 was requested by advocacy organizations during public feedback.

Recommends single family zones be generally included in eligibility for MIIP and AHIP Programs in Higher Opportunity Areas only.

Sites would receive the same incentives proposed for multi-family zones in the following programs:

- Opportunity Corridors
- Corridor Transition Areas
- TOIA (Higher Opportunity Areas only)
- AHIP Programs in Higher Opportunity Areas only



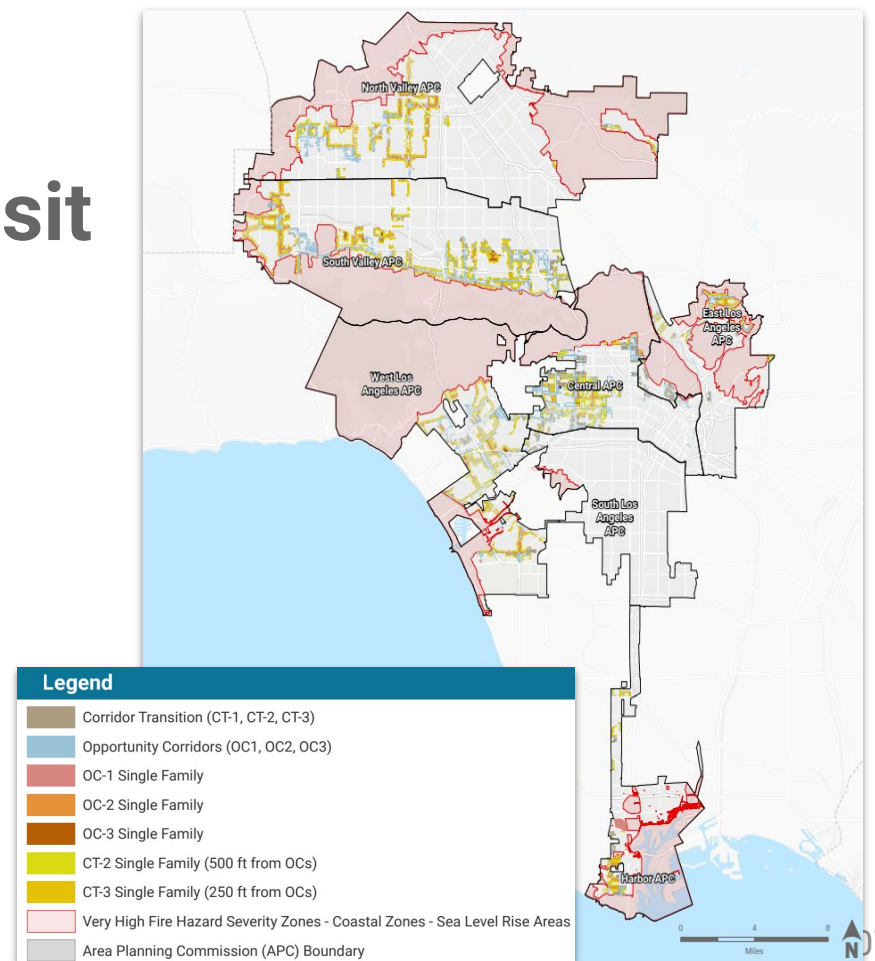
Option 2: Broader Option Near Transit

Option 2 focuses inclusion of single-family zones in the following 2 MIIP programs:

- Opportunity Corridors
- Corridor Transition Areas

Limited Density and FAR incentives for single-family on OC corridors (6 to 16 units).

No Corridor Transition from OC-1 Single Family corridors.



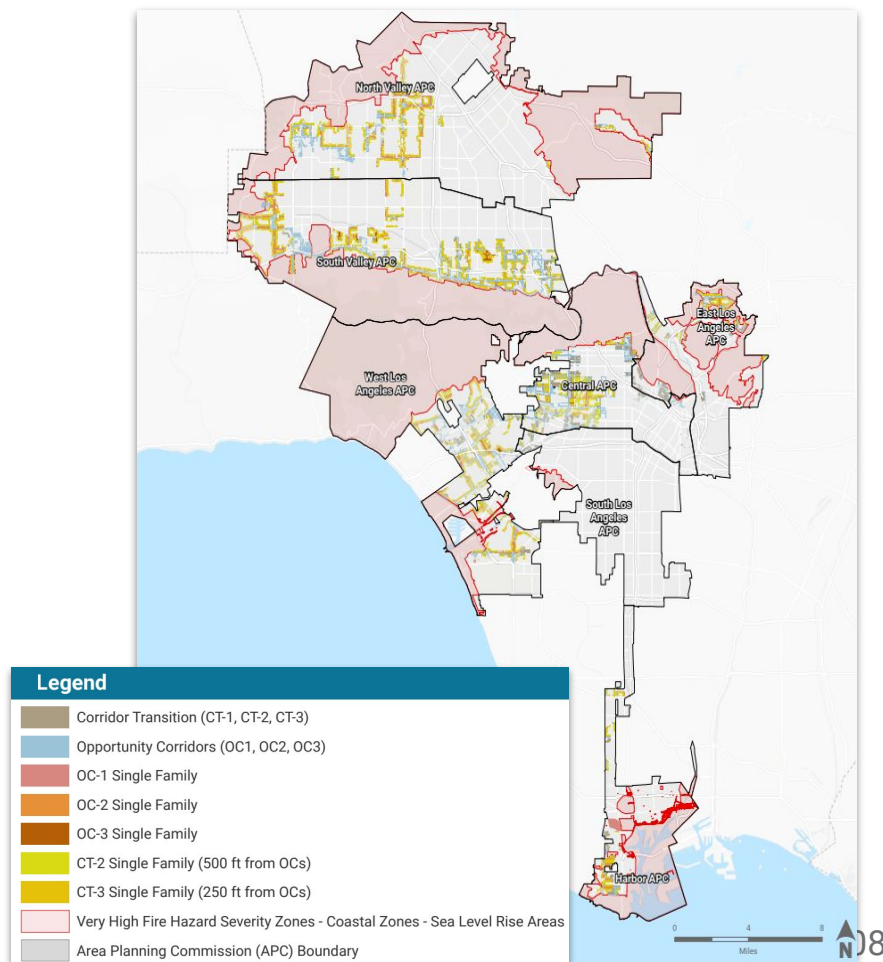
Option 3: Major Transit Stops Only

Option 3 focuses inclusion of single-family zones in the following 2 MIIP programs:

- Opportunity Corridors (OC-3 only)
- Corridor Transition Areas

Limited Density and FAR incentives for single-family on OC-3 (up to 16 units).

Corridor Transition within 500 feet of OC-3 Single Family (up to 10 units).



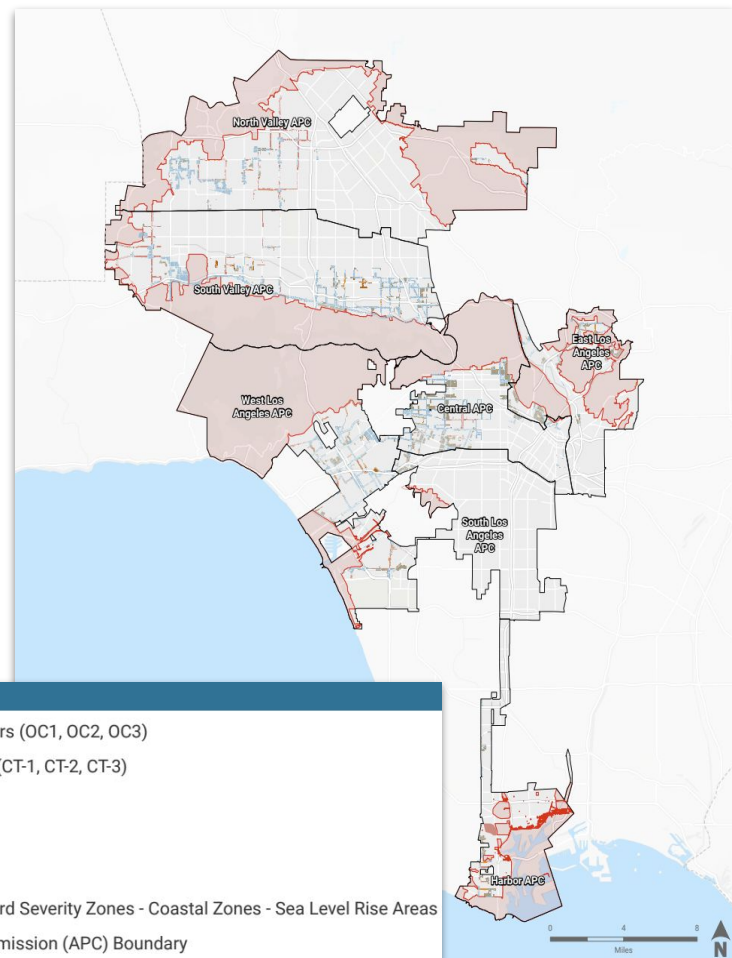
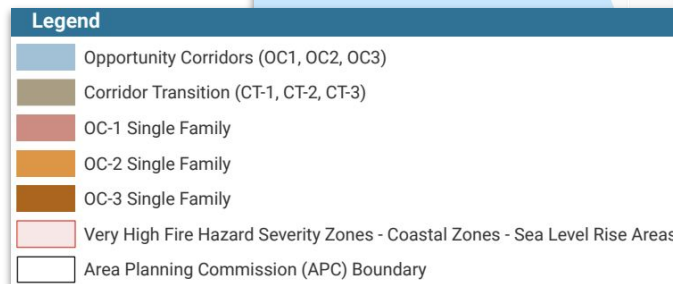
Option 4: Opportunity Corridors Only

Option 4 focuses inclusion of single-family zones in the following MIIP program:

- Opportunity Corridors

Sites would receive the same incentives proposed for multi-family zones in OC-1, OC-2, and OC-3.

- Density Limited by Floor Area
- 5 to 7 stories in Height max.

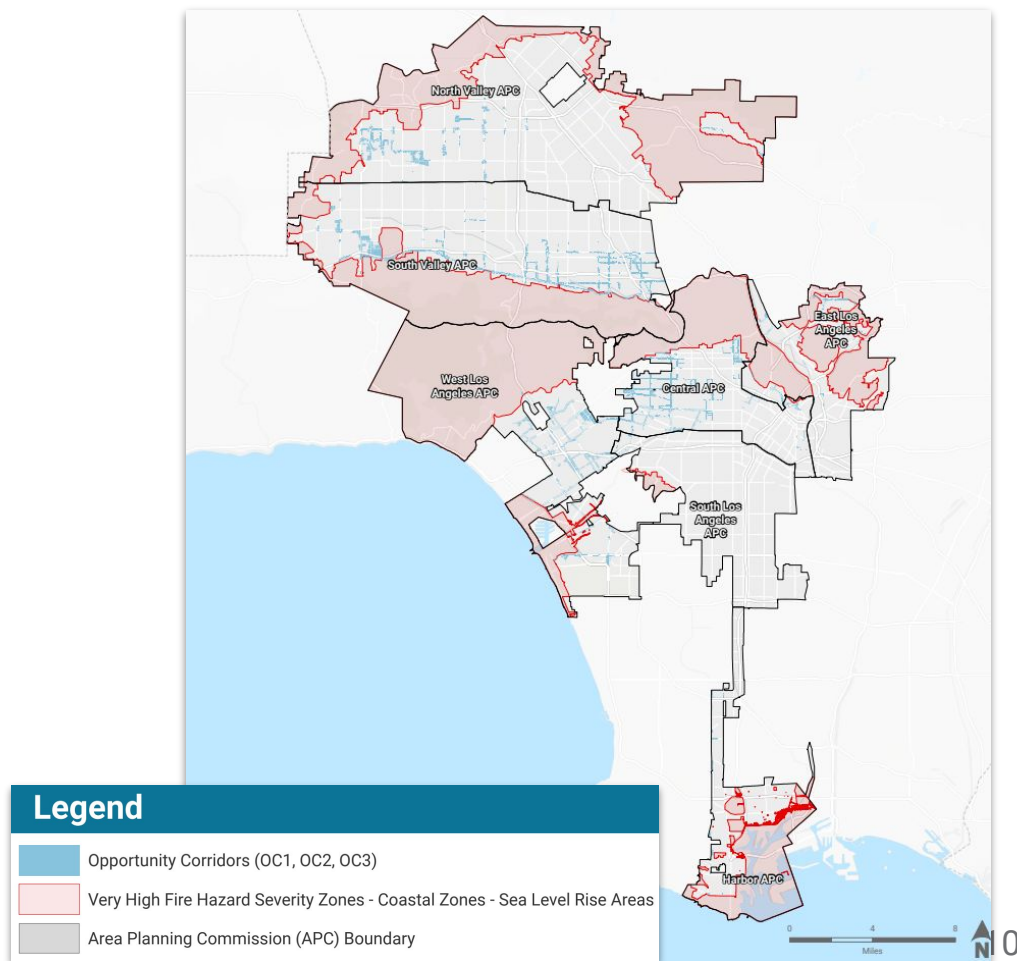


Option 5: Limited Multi-Family Zones in Opportunity Areas

Option 5 removes R2 and RD zones from eligibility in the Opportunity Corridors Program.

Considerations

- Addresses concerns regarding displacement of existing lower density multi-family sites



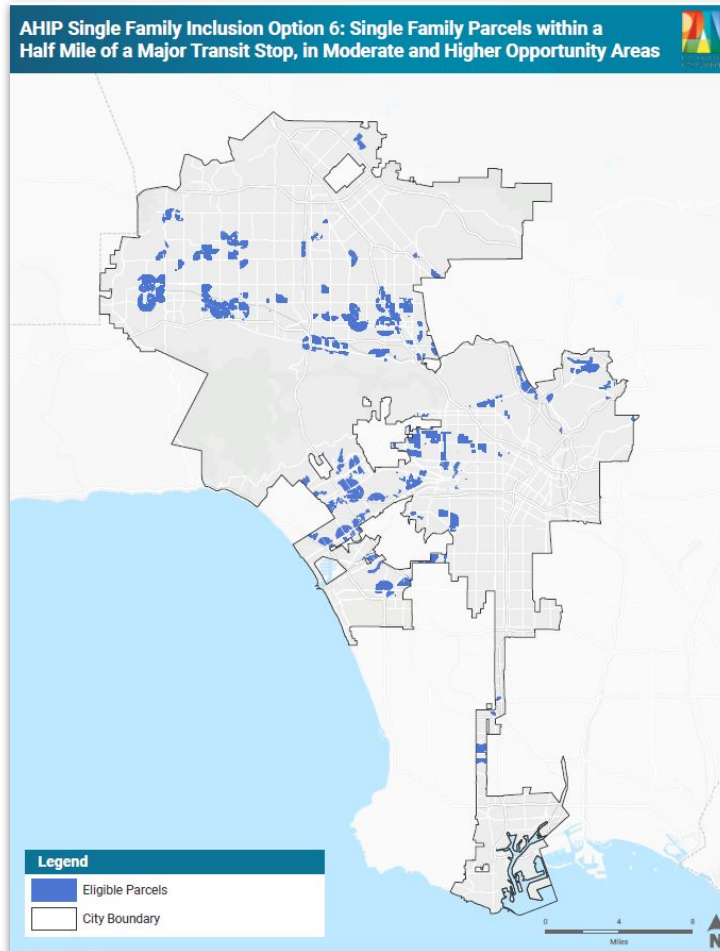
Option 6: Higher Opportunity Transit Areas in AHIP

Option 6 focuses inclusion of single-family zones for 100% Affordable, FBO, and Shared Equity Projects in Moderate and Higher Opportunity Areas within:

- **0.5 miles from a Major Transit Stop**

Eligible for low density base incentives in AHIP

- Density Limited by FAR
- 2.5 FAR max.
- Additional 1 story or 11 feet of height



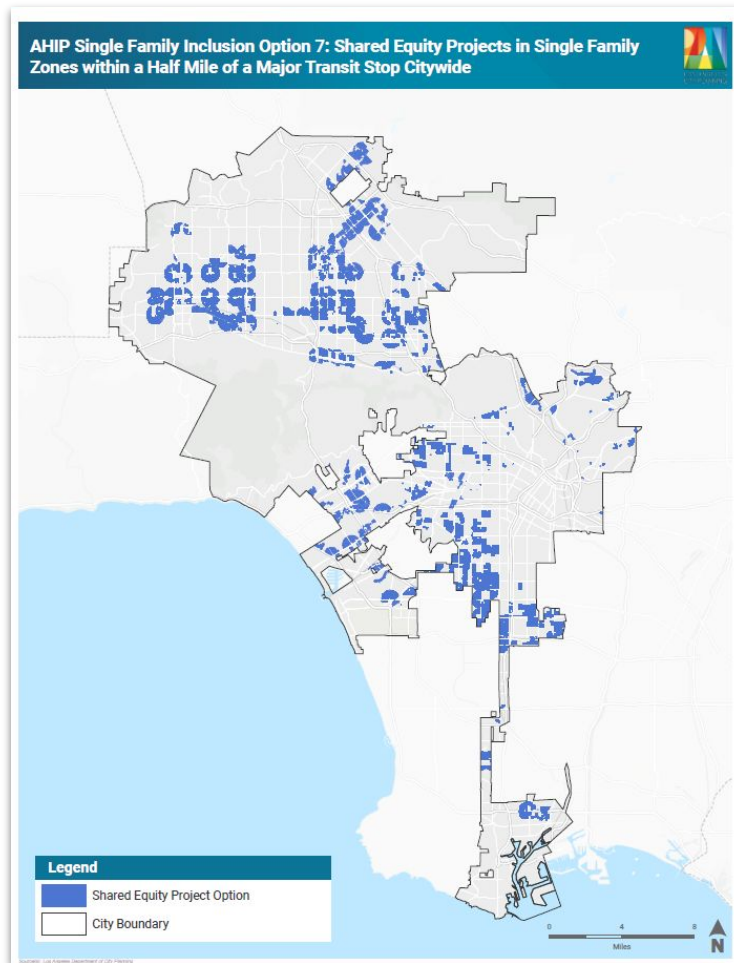
Option 7: Shared Equity Projects Citywide Near Transit

Option 7 focuses inclusion of single-family zones for land owned by a Community Land Trust, Limited Equity Cooperative, or Workforce Housing Cooperative citywide, within:

- **0.5 miles from a Major Transit Stop**

Eligible for low density base incentives in AHIP

- Density Limited by FAR
- 2.0 FAR max.
- Additional 1 story or 11 feet of height

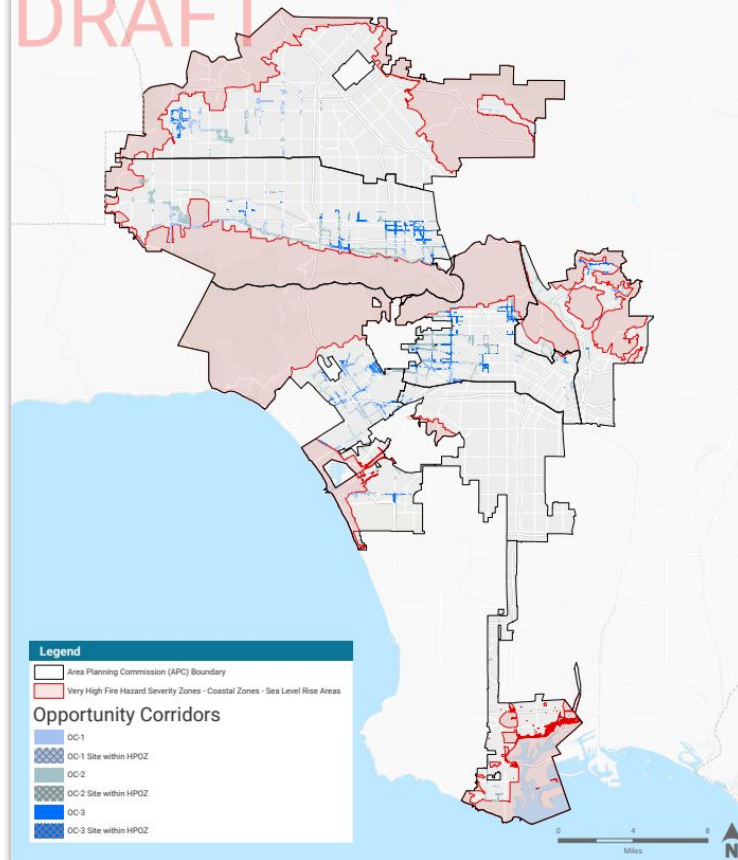


Maps for Reference

Corridors In Higher Resource Areas Citywide APCs



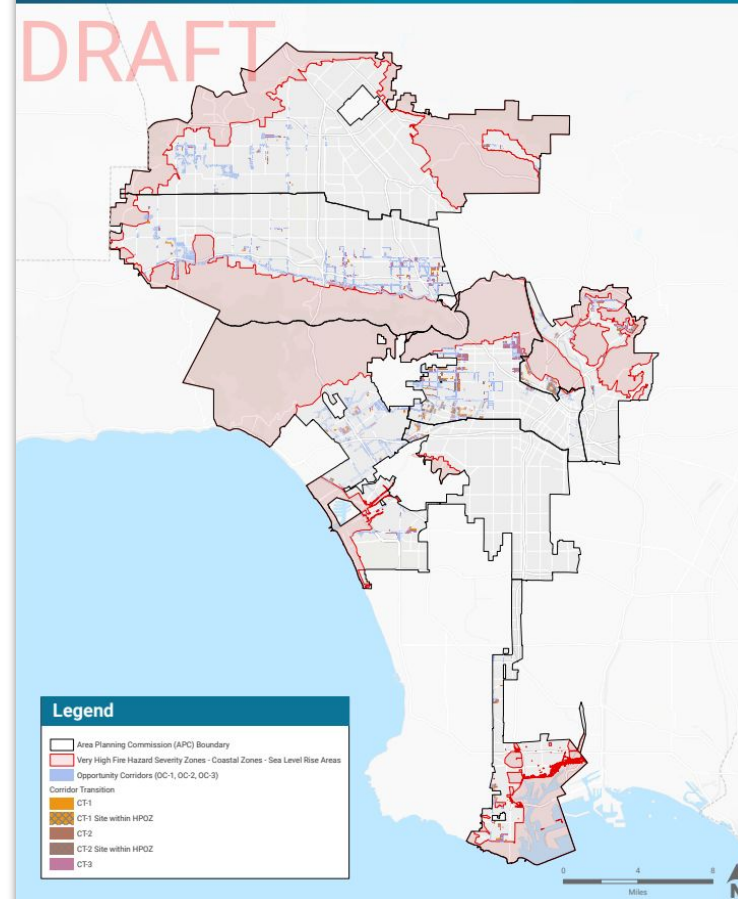
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Corridors and Corridor Transitions In Higher Resource Areas Citywide APCs



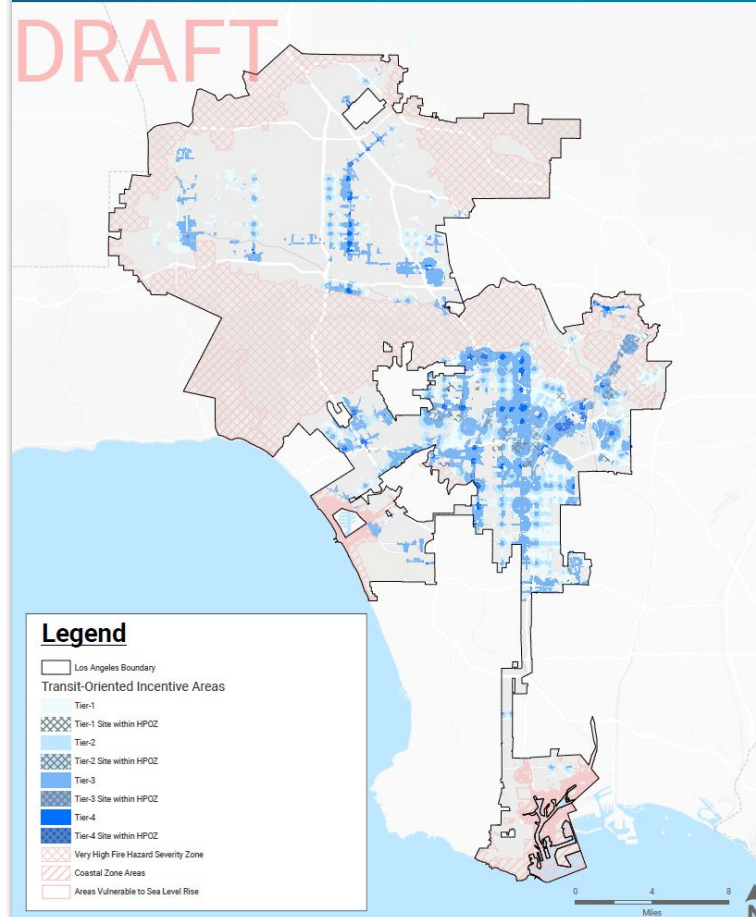
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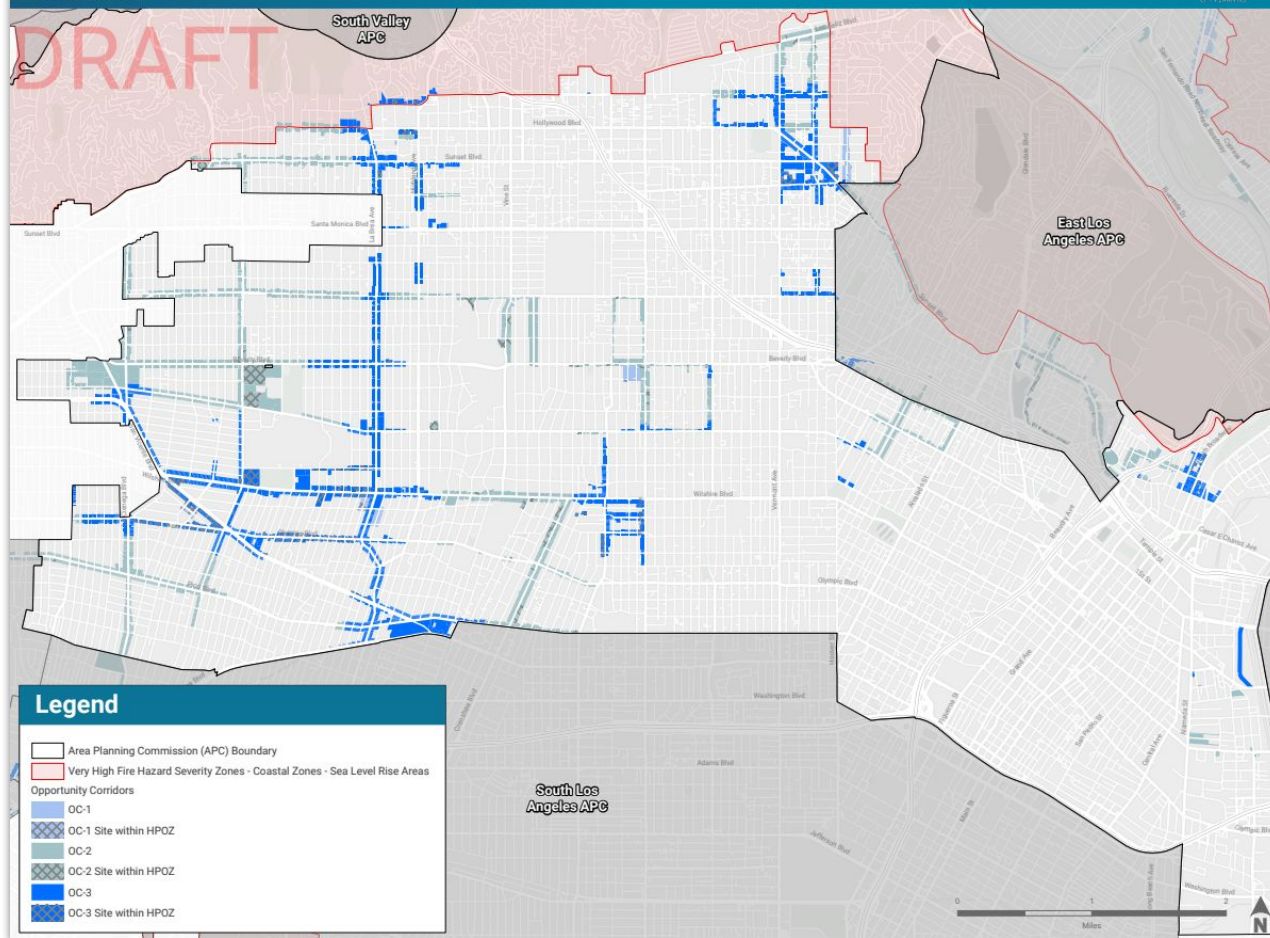
Draft: Transit-Oriented Incentive Areas



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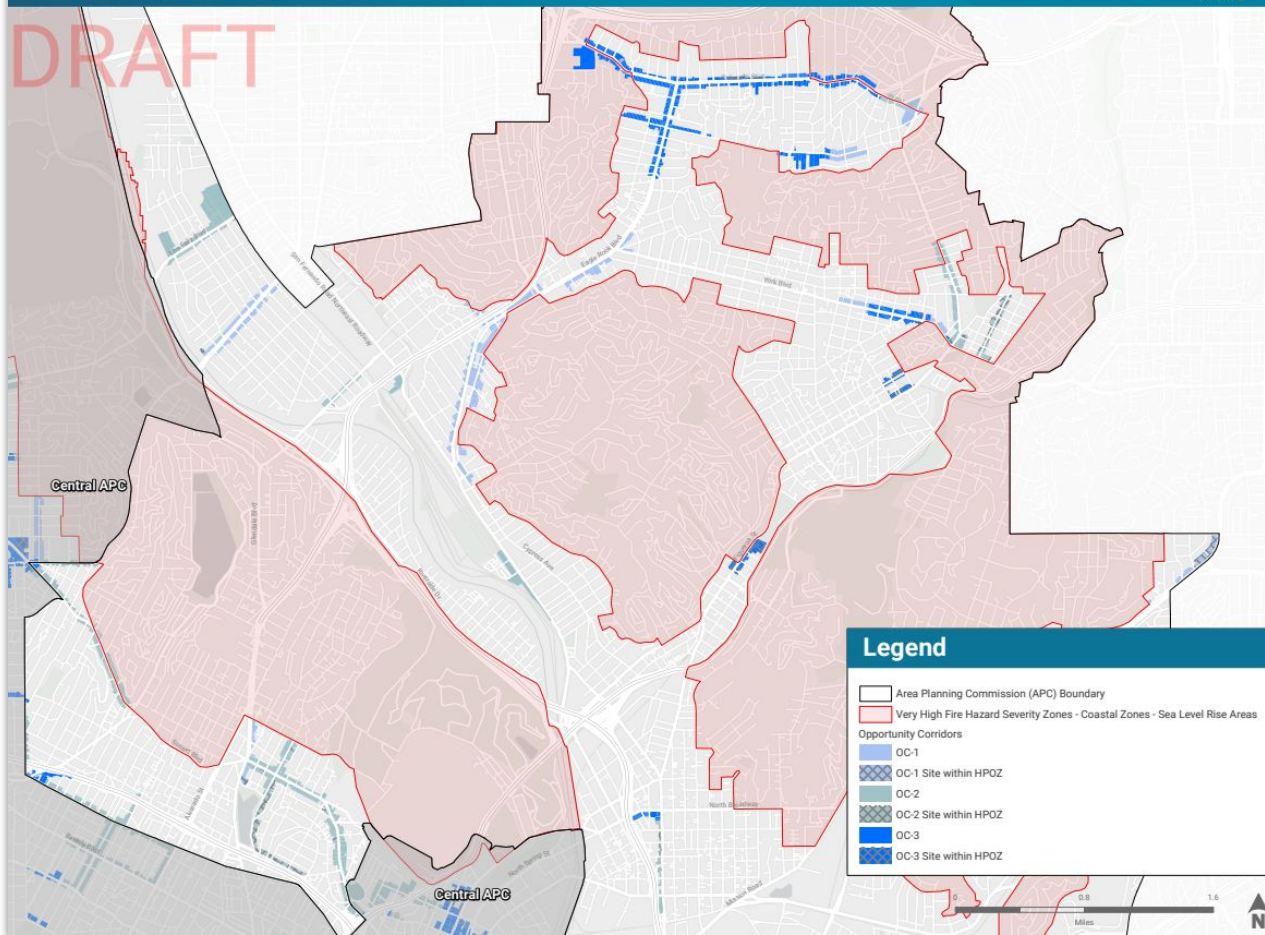
Corridors In Higher Resource Areas Central APC



Corridors In Higher Resource Areas East Los Angeles APC



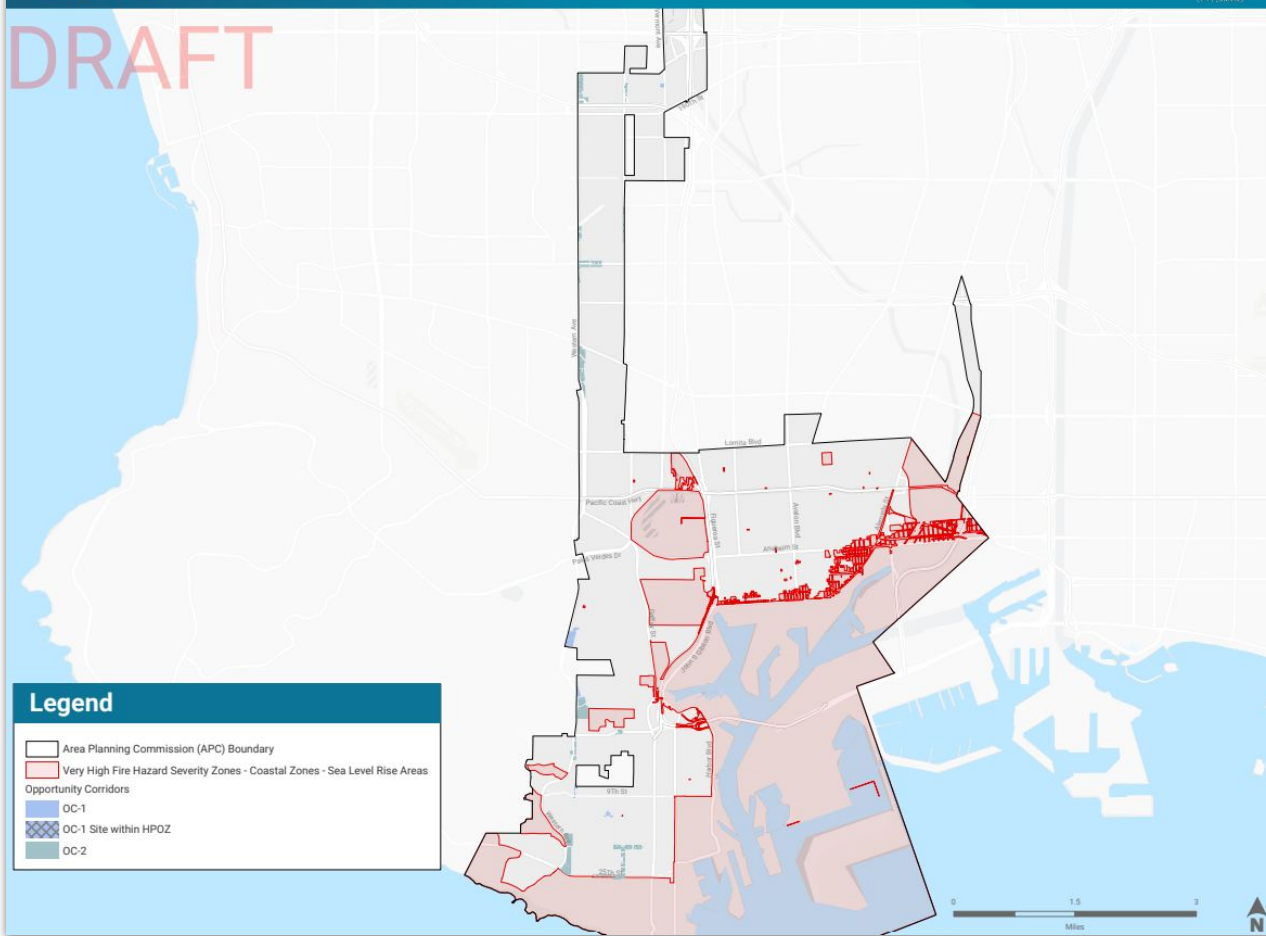
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Corridors In Higher Resource Areas Harbor APC



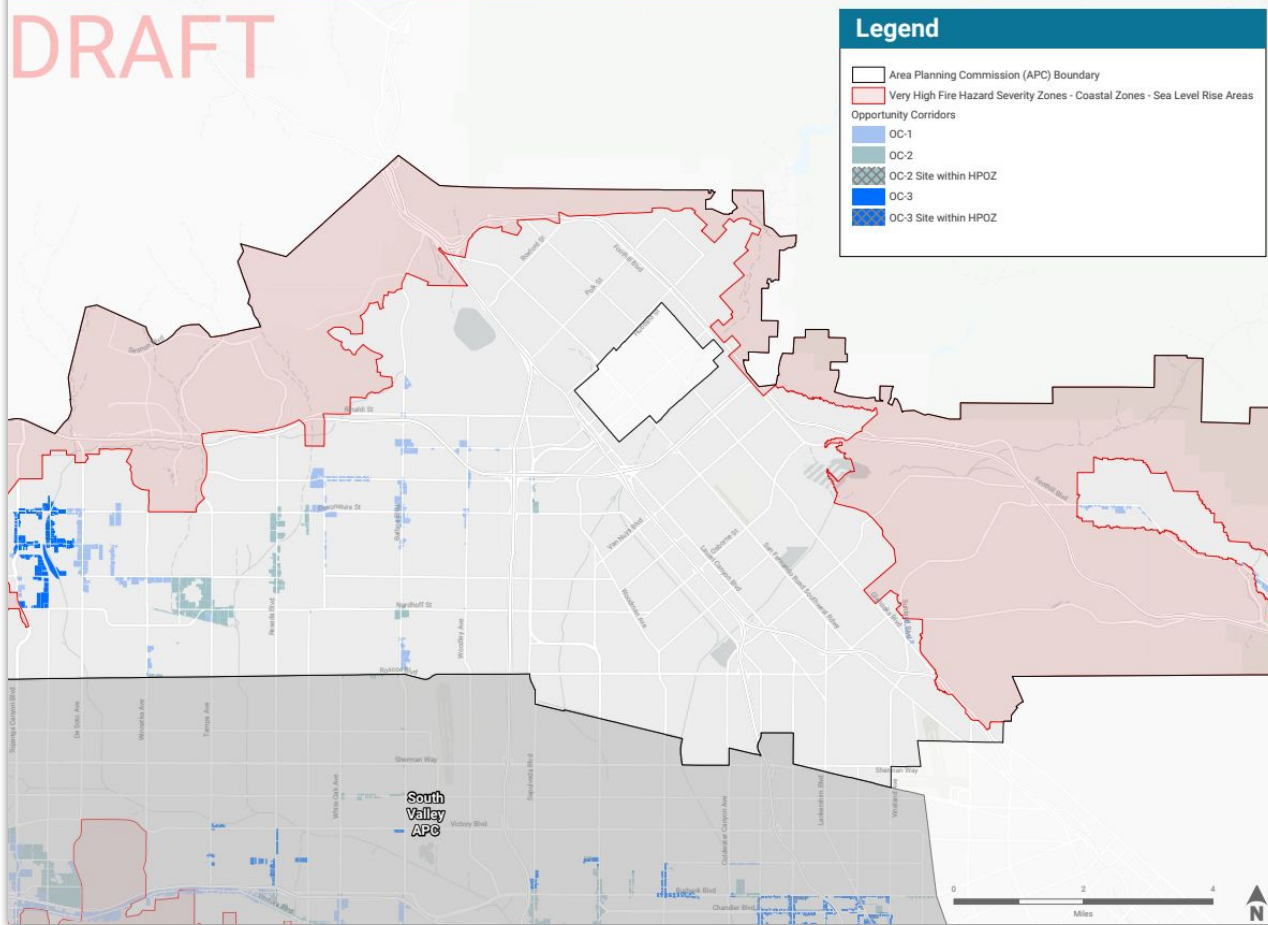
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Corridors In Higher Resource Areas North Valley APC



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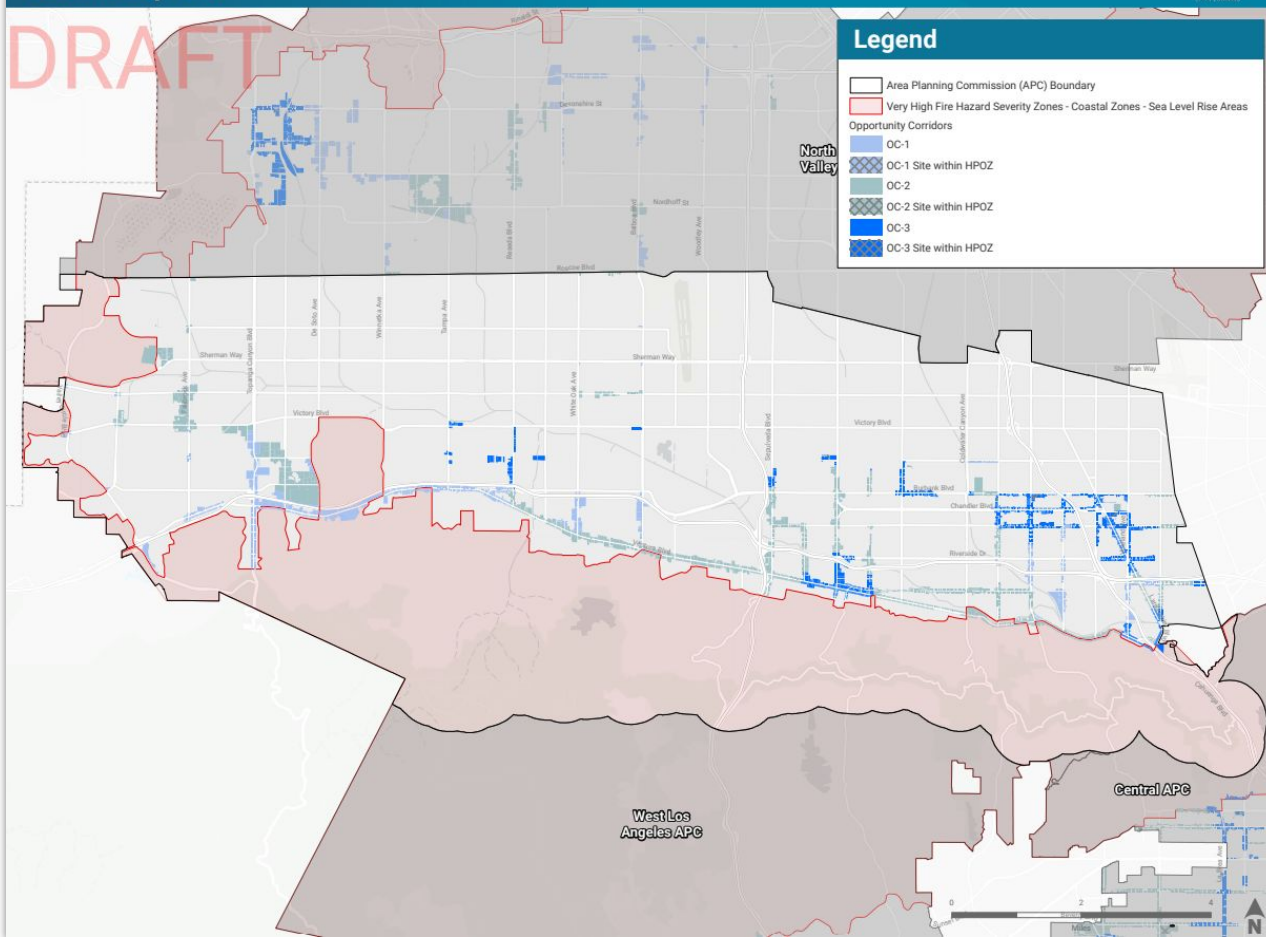


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Corridors In Higher Resource Areas South Valley APC



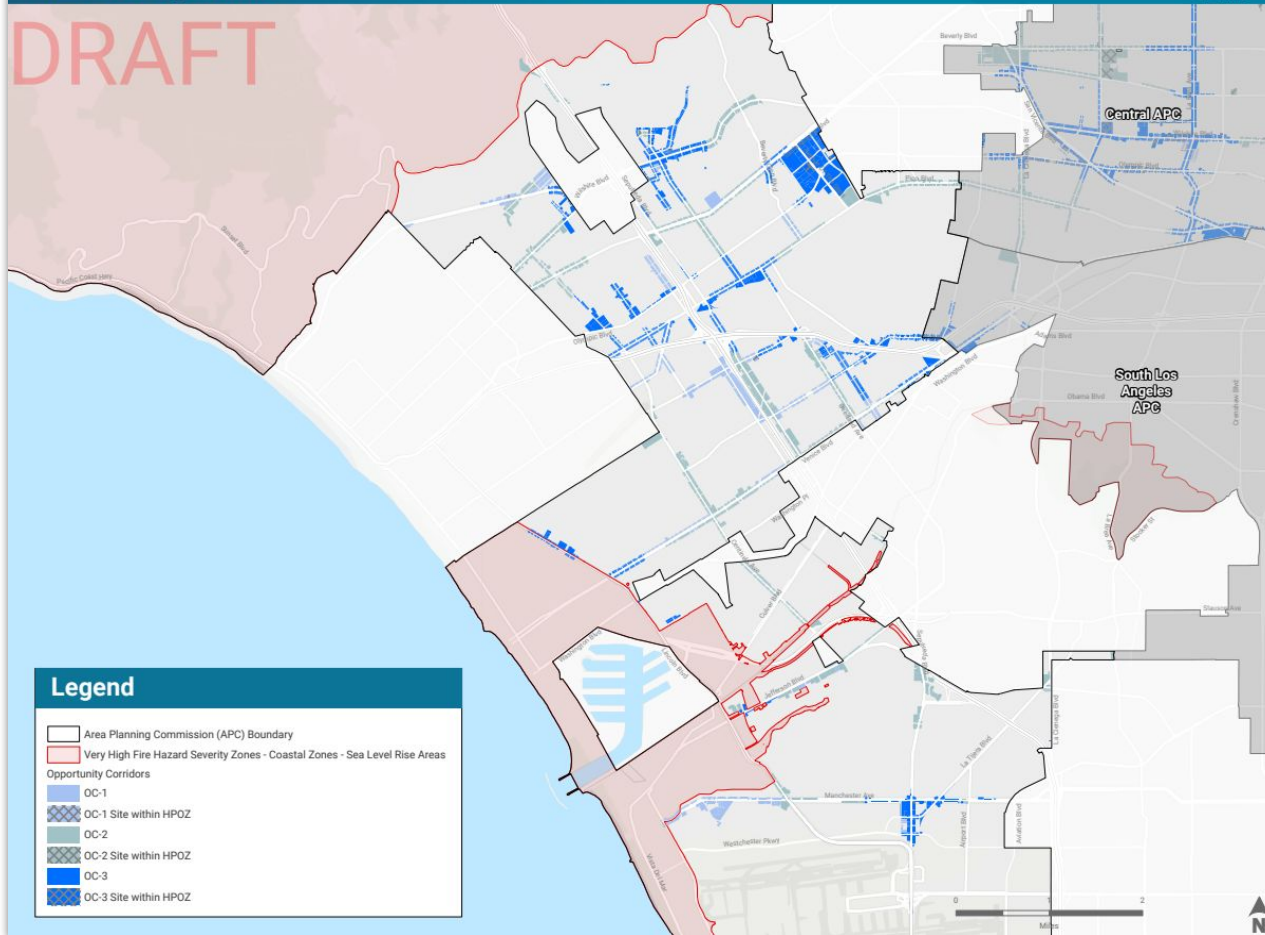
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Corridors In Higher Resource Areas West Los Angeles APC



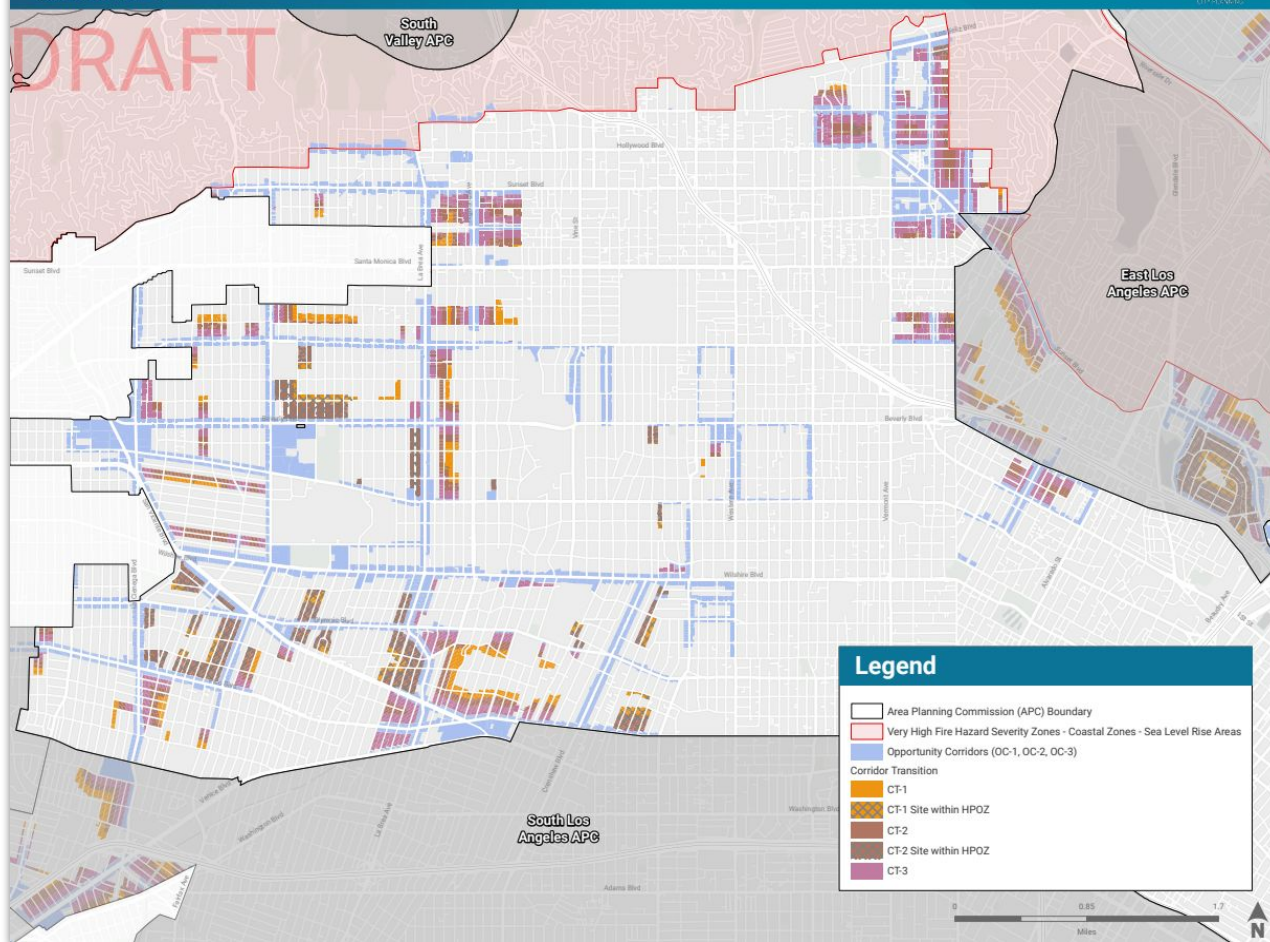
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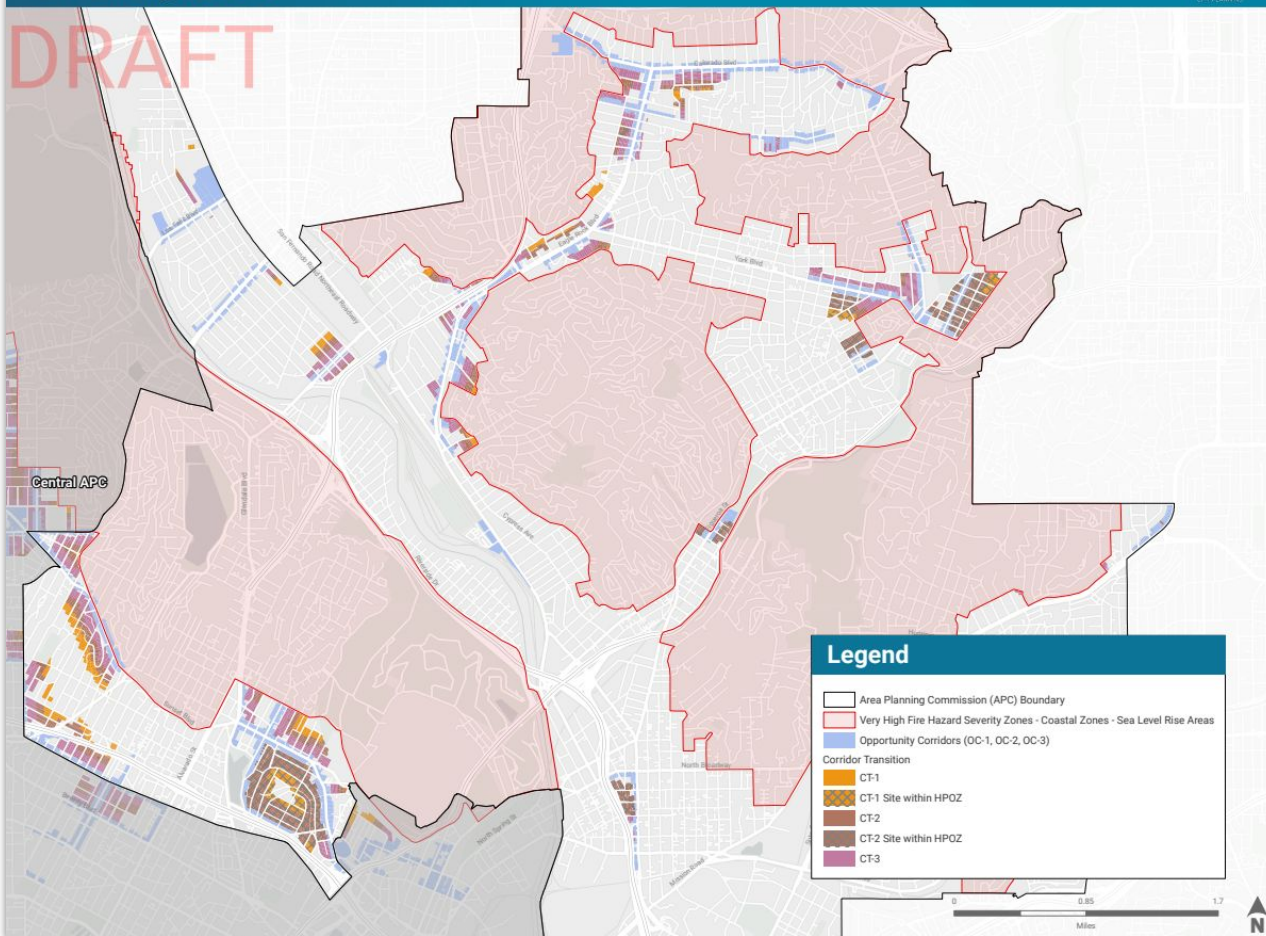
Legend

- Area Planning Commission (APC) Boundary
- Very High Fire Hazard Severity Zones - Coastal Zones - Sea Level Rise Areas
- Opportunity Corridors**
 - OC-1
 - OC-1 Site within HPOZ
 - OC-2
 - OC-2 Site within HPOZ
 - OC-3
 - OC-3 Site within HPOZ

Corridors and Corridor Transitions In Higher Resource Areas Central APC



Corridors and Corridor Transitions In Higher Resource Areas East Los Angeles APC



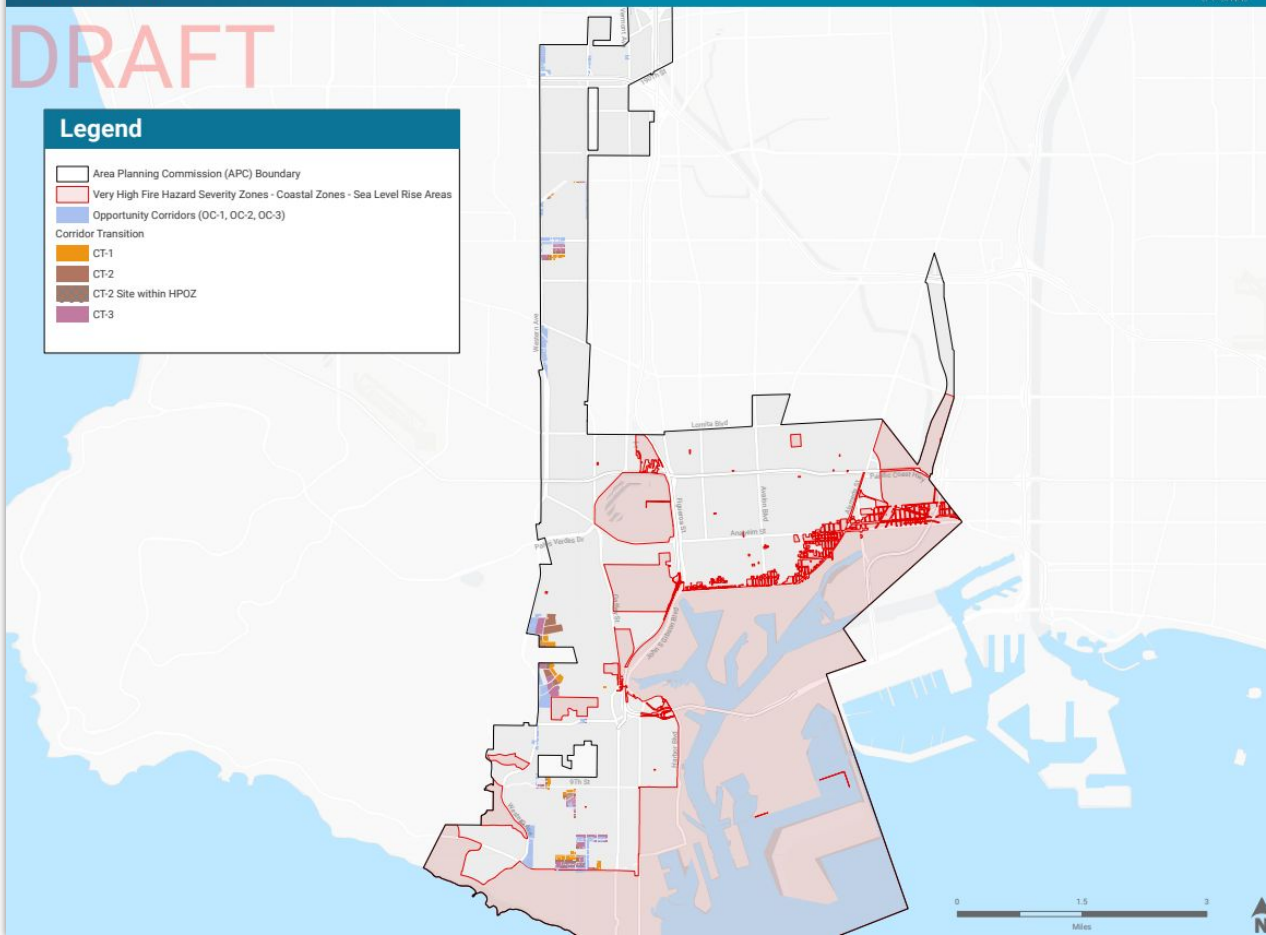
Corridors and Corridor Transitions In Higher Resource Areas Harbor APC



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Legend

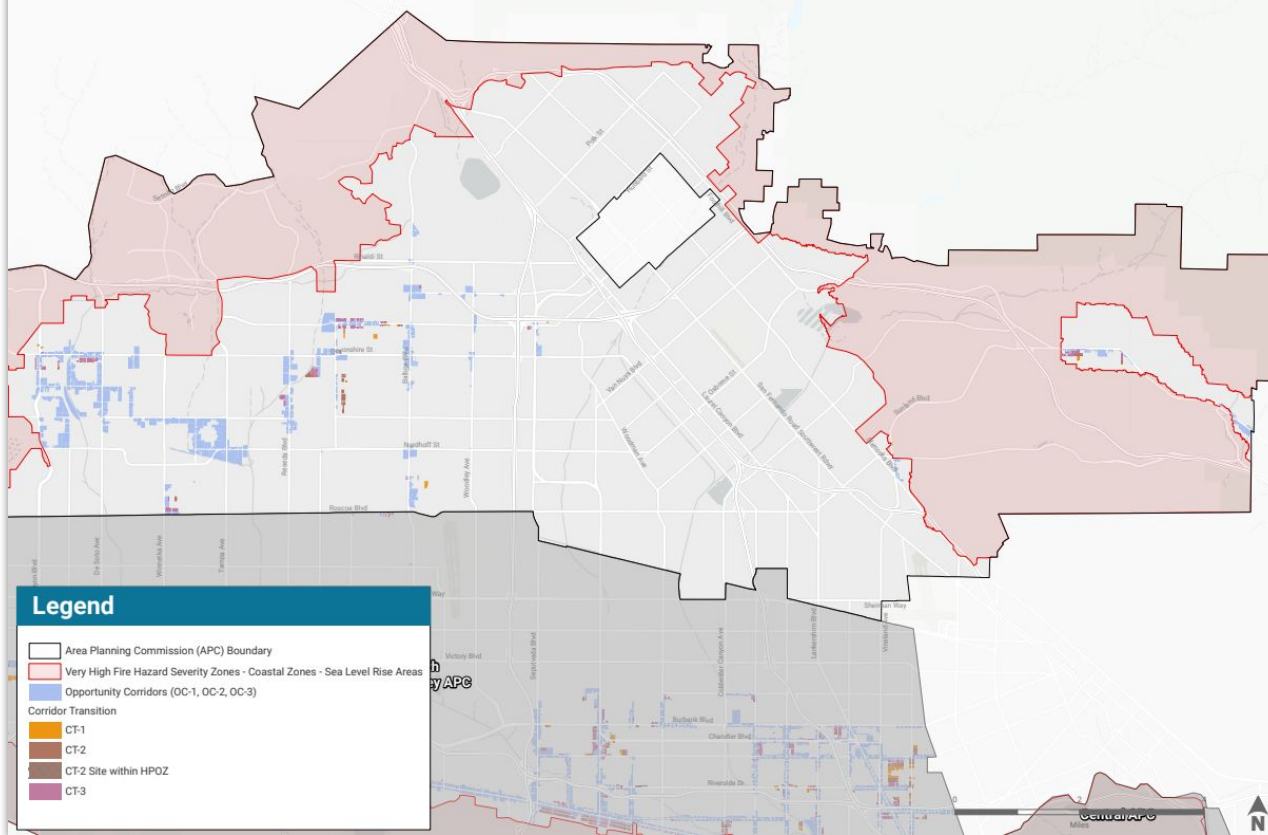
- Area Planning Commission (APC) Boundary
- Very High Fire Hazard Severity Zones - Coastal Zones - Sea Level Rise Areas
- Opportunity Corridors (OC-1, OC-2, OC-3)
- Corridor Transition
 - CT-1
 - CT-2
 - CT-2 Site within HPOZ
 - CT-3



Corridors and Corridor Transitions In Higher Resource Areas North Valley APC



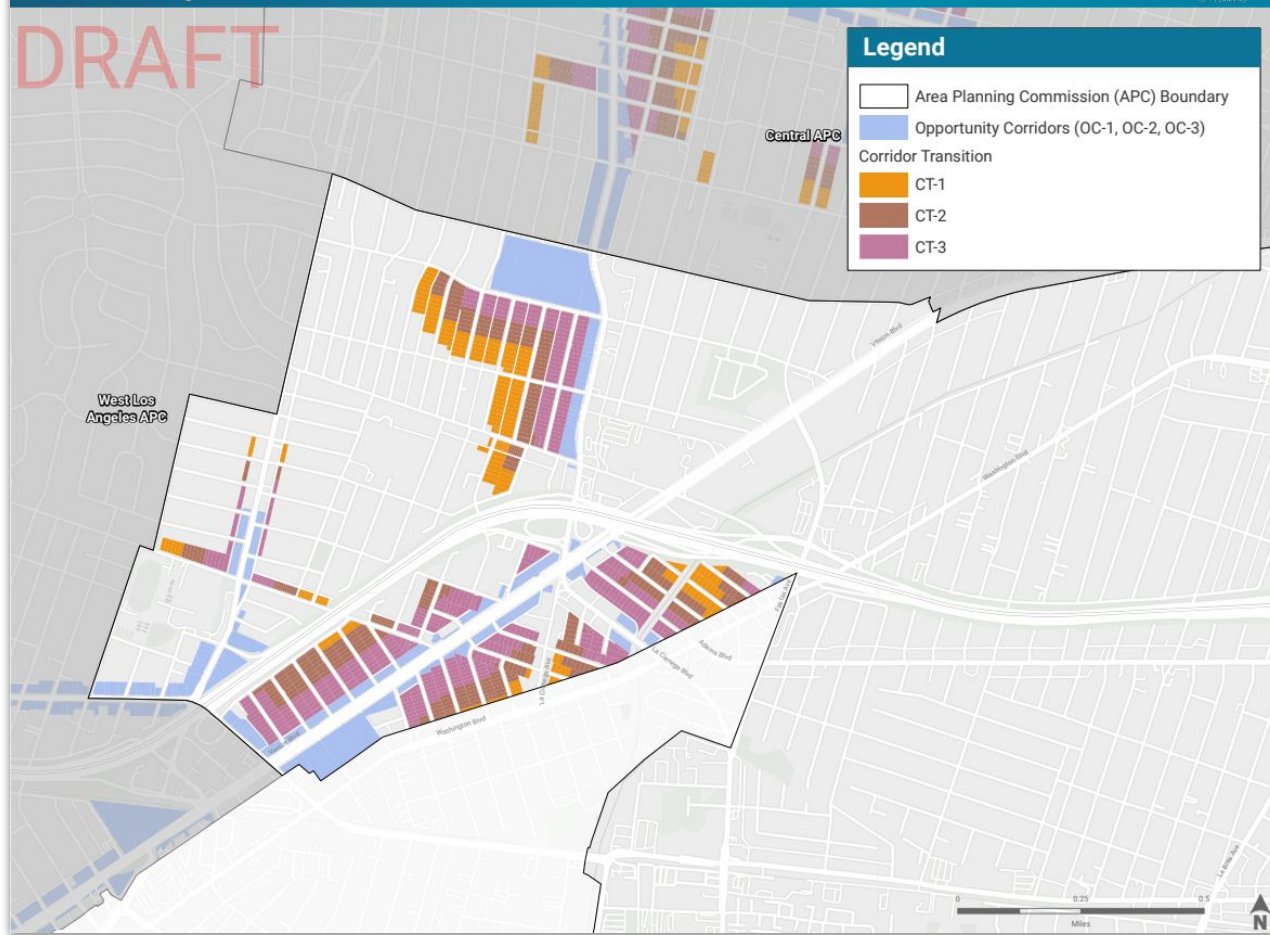
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Corridors and Corridor Transitions In Higher Resource Areas South Los Angeles APC



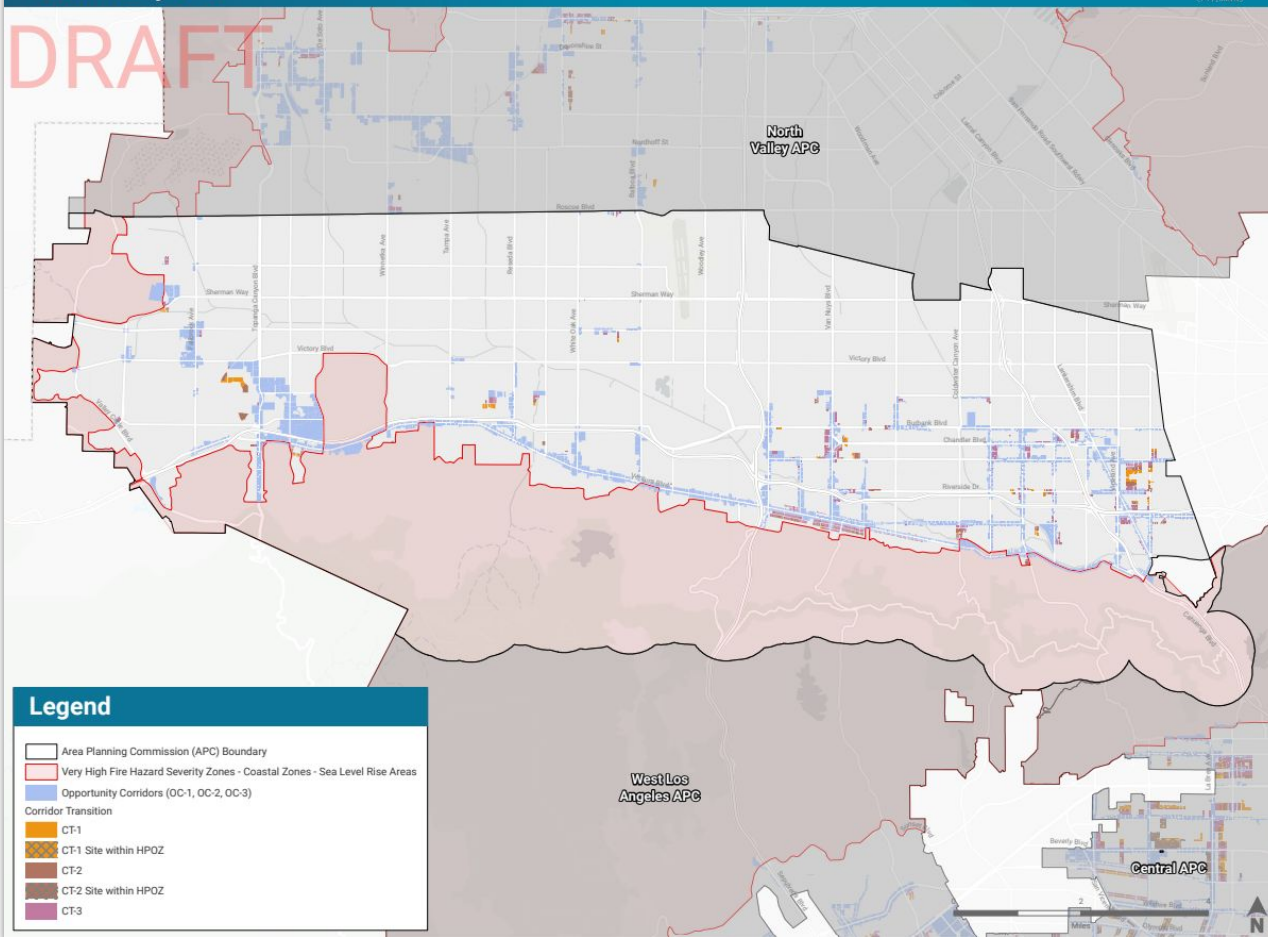
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Corridors and Corridor Transitions In Higher Resource Areas South Valley APC



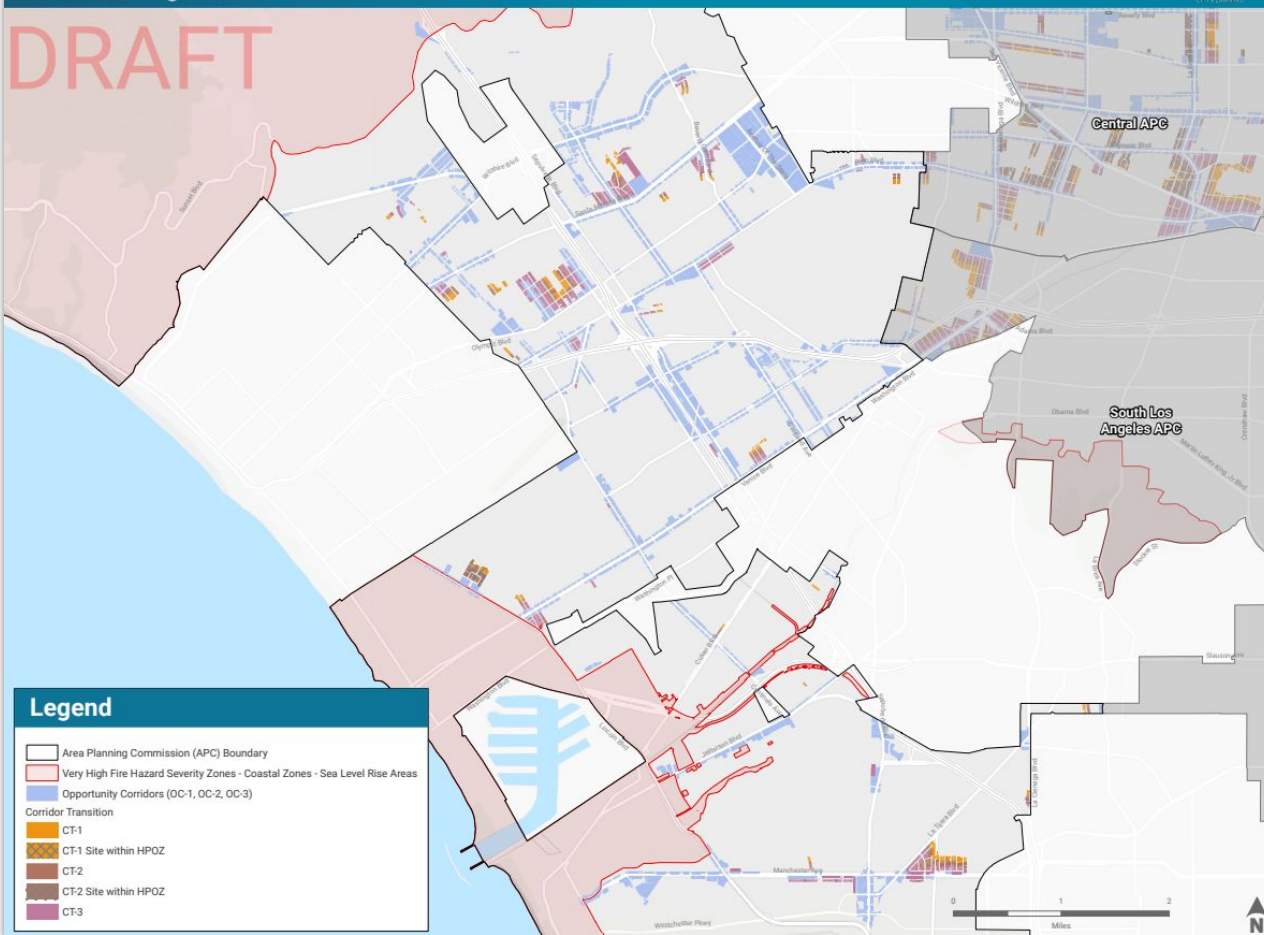
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Corridors and Corridor Transitions In Higher Resource Areas West Los Angeles APC



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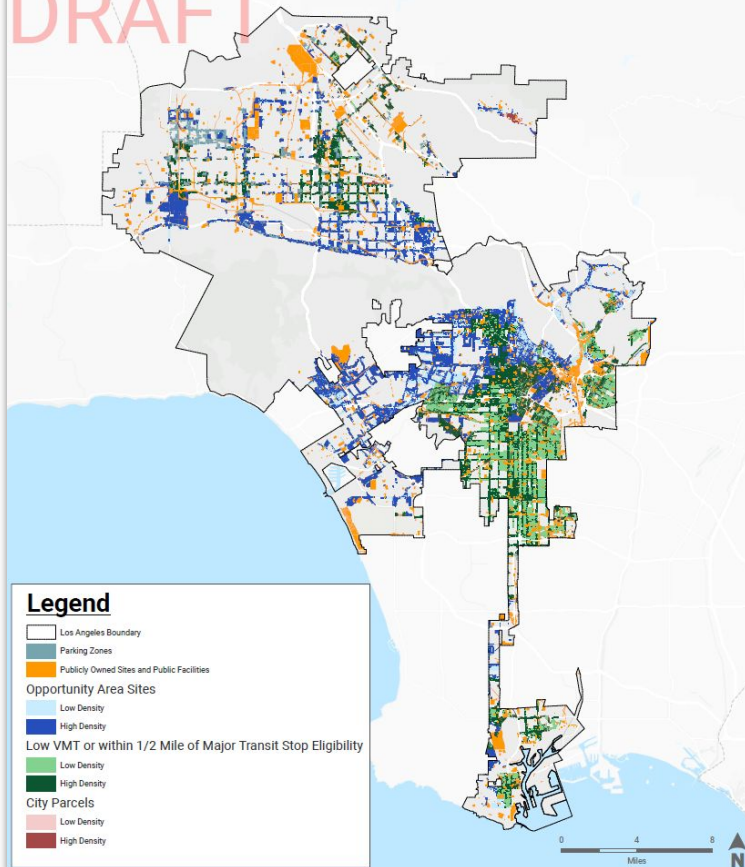
Legend

- Area Planning Commission (APC) Boundary
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 - CT-1 Site within HPOZ
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 - CT-2 Site within HPOZ
 - CT-3

Draft: Affordable Housing Projects Citywide



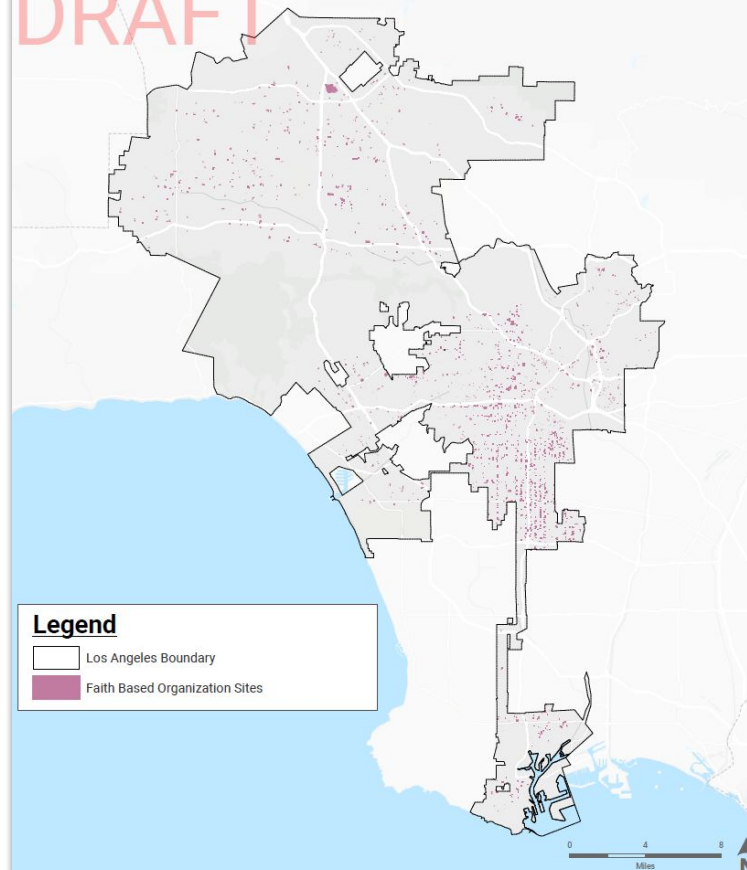
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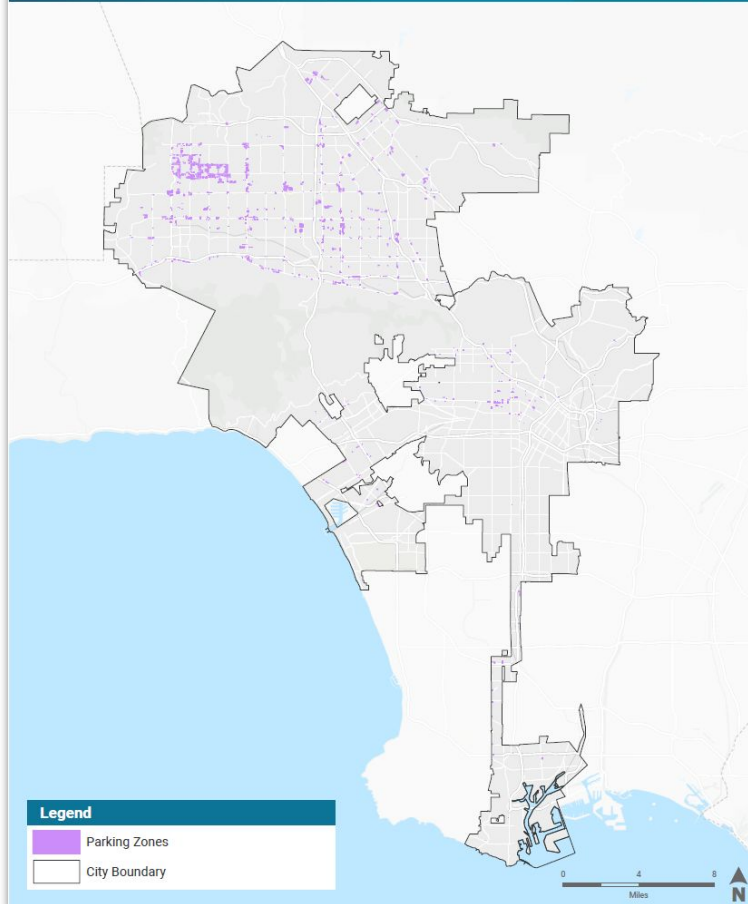
Draft: Faith Based Owned Housing Projects



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Parking Zones



Publicly Owned Land and Public Facility Zones

